



City of Aventura
 Community Development Department
 Building Division
 19200 W Country Club Drive
 Aventura, FL 33180
 305.466.8937 | permits@cityofaventura.com

NOTICE TO THE CITY OF AVENTURA BUILDING DIVISION OF EMPLOYMENT AS SPECIAL INSPECTOR UNDER THE FLORIDA BUILDING CODE

I (we) have been retained by Plaza Del Prado Condominium Association to perform special inspector services at the 40 Year Electrical Recertification Repairs project at the below listed structures as of July 15, 2024 (date).
 I am a registered architect, or a professional engineer licensed in the State of Florida.

Master Permit Number: _____ **Address:** 18021 Biscayne Blvd. Aventura, FL 33160

NOTE: Only the marked boxes apply

- Special Inspector for Pilings, FBC 1822.1.20, CMDC Sect. 8-22
- Special Inspector for Lightweight Insulating Concrete, FBC 1917.2, CMDC Sect. 8-22
- Special Inspector for Soil Compaction, FBC 1820.3.1, CMDC Sect. 8-22
- Special Inspector for Precast Units and Attachments, FBC 1927.12, CMDC Sect. 8-22
- Special Inspector for Reinforced Masonry, FBC 2122.2.4 & CMDC Sect. 8-22
- Special inspector for Steel Bolted & Welded Connections, CMDC Sect. 8-22
- Special Inspector for Trusses over 35 feet long or 6 feet high, CMDC Sect. 8-22
- Special Inspector for Curtain Wall and/or Structural Glazing, CMDC Sect. 8-22
- Special Inspector for Buck and Anchor for Window and Door Installations
- Special Inspector for 40 Year Electrical Recertification Repairs

The following individuals employed by this firm or me are authorized representatives to perform inspections

- | | |
|-------------------------------|-------------------------------|
| 1. <u>Jose Urdaneta, P.E.</u> | 3. <u>Claudia Sanchez, PM</u> |
| 2. <u>Juan Tovar, PM</u> | 4. <u>Julio Matos, PM</u> |

**Special inspectors utilizing authorized representatives shall insure the authorized representative is qualified by education or licensure to perform the duties assigned by the Special Inspector. The qualifications shall include: licensure as a professional engineer or architect; graduation from an engineering education program in civil or structural engineering; graduation from an architectural education program; successful completion of the NCEES Fundamentals Examination; or registration as a building inspector or general contractor.*

I, (we) will notify the City of Aventura Building Division of any changes regarding authorized personnel performing inspection services.

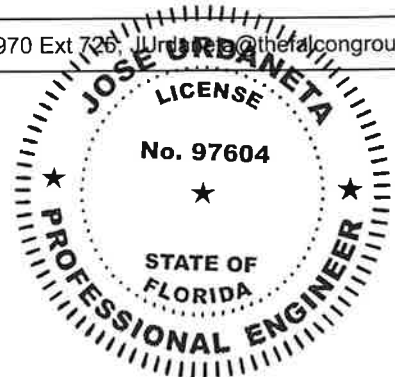
I, (we) understand that all mandatory inspections, as required by the Florida Building Code, shall be requested by the permit holder and approved by the Building Division Inspectors. Inspections performed by the Special inspector hired by the Owner are in addition to the mandatory inspections performed by the Building Division. A Special Inspection Log for each building must be displayed in a convenient location on the site for inspection by the Building Division Inspectors. Further, upon completion of the work under each building permit, I will submit to the Building Division at the time of final inspection the completed Inspection Log form and sealed statement that, to the best of my knowledge, belief and professional judgment those portions outlined above meet the intent of the Florida Building Code and are in subsequent accordance with the approved plans.

Architect/Engineer Printed Name Jose Urdaneta

Address, Telephone and Email 15405 NW 7th Avenue, Miami, FL 33169; 305-663-1970 Ext 725; J.Urdaneta@therajcongroup.us

Signature _____
 License Number: PE97604
 Date 7/18/2024

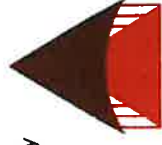
Seal:



Ron DeSantis, Governor



Melanie S. Griffin, Secretary



FBPE
FLORIDA BOARD OF
PROFESSIONAL ENGINEERS

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
BOARD OF PROFESSIONAL ENGINEERS

THE PROFESSIONAL ENGINEER HEREIN IS LICENSED UNDER THE
PROVISIONS OF CHAPTER 471, FLORIDA STATUTES

URDANETA SANCHEZ, JOSE JAVIER



LICENSE NUMBER: PE97604

EXPIRATION DATE: FEBRUARY 28, 2025

Always verify licenses online at MyFloridaLicense.com



Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.

**CERTIFICATION OF COMPLIANCE WITH PARKING LOT ILLUMINATION
STANDARDS IN CHAPTER 8C-3 OF THE CODE OF MIAMI-DADE COUNTY**

DATE: 7/12/2024

Case No. FYear N/A

Property

Address: 18021 Biscayne Blvd Aventura FL 33160 Bldg. No.: _____ Sq. Ft.: 72,000

Folio

Number: 28 - 2210 - 014 - 0001

Building Description: (2) Twenty-story residential buildings with an open parking lot and a two-level parking garage.

1. I am a Florida registered Professional Engineer or Architect with an active license.
2. On July 7, 2021, at 8:15 PM, I measured the level of illumination in the parking lots(s) serving the above reference building.
3. Maximum 10.9 foot-candles.
Minimum 0.11 foot-candles.
Maximum to minimum ratio 99:1, foot-candle.
4. The level of illumination provided in the parking lot **does not** meet the minimum standards for the occupancy classification of the building as established in Section 8C-3 of the Code of Miami-Dade County.



Signature and Seal of Professional Engineer/Architect

Print name



Digitally signed
by Jose J
Urdaneta
Date: 2024.03.25
13:36:25 -04'00'

Note:
The Electrical Contractor shall
submit a specification sheet for
approval if the selected device
differs from this one.

		THE FALCON GROUP Engineering and Architecture 15405 NW 7th Avenue Miami, Florida 33169 T: 305-583-1970 West Palm Beach T: 561-290-0504	
<input type="checkbox"/> ACCEPTED AS SUBMITTED	DATE: 3/25/24		
<input type="checkbox"/> REJECTED			
<input checked="" type="checkbox"/> ACCEPTED AS NOTED			
<input type="checkbox"/> REVISE AND RESUBMIT			
<input type="checkbox"/> RESUBMISSION NOT REQUIRED		BY: Jose Urdaneta	
<small>THIS CHECK IS ONLY FOR REVIEW OF GENERAL CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AND GENERAL COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. THIS CONTRACTOR IS RESPONSIBLE FOR: CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS; SELECTING FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION COORDINATION OF HIS WORK WITH THAT OF ALL OTHER TRADES; AND PERFORMING HIS WORK IN A SAFE AND SATISFACTORY MANNER. CORRECTIONS OR COMMENTS MADE ON THE SHOP DRAWINGS DURING THIS REVIEW DO NOT RELIEVE THIS CONTRACTOR FROM COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.</small>			

Sealed Battery Smoke Alarm with Hush™

Part Number 900-0136

Model i9010 (formerly model 0910)

LED Indicator

A flashing red indicator light with four modes of operation: Standby, alarm mode, hush mode and memory set

Test/Reset Button

One button tests the unit's circuit operation and resets memory after an alarm condition occurs

Hush™ Feature

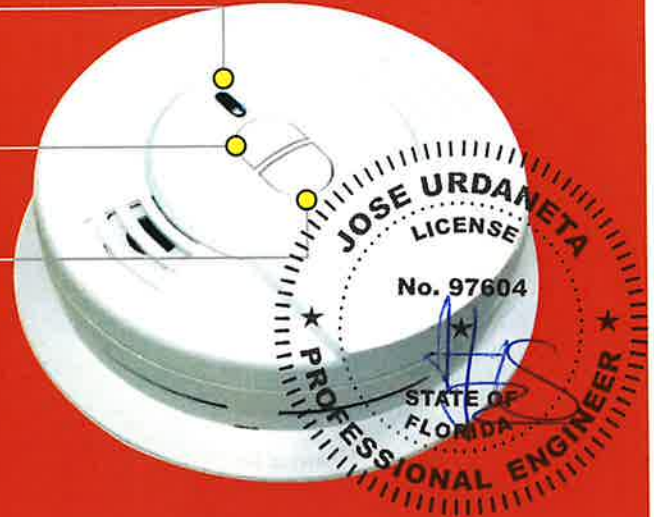
Temporarily silences nuisance alarms. Will not allow hush to be activated unless unit is in alarm mode.

Battery Operated

No wiring needed

Sealed-In Lithium Battery

Unit will continue to operate for 10 years



Description

The Kidde i9010 is a 10-year, sealed battery, ionization, smoke alarm with Alarm Memory and Hush™ feature. The innovative design of this alarm's automatic activation is unlike any other smoke alarm. The i9010 alarm will automatically activate when it is attached to the mounting bracket; there are no pull-tabs, no switches, everything is automatic. *At the end of the alarm life, the unit will chirp, indicating the alarm is in need of replacement.* The customer can use a simple tool such as a screwdriver to deactivate the unit, stopping the low battery chirp and making it safe for disposal.

The sealed-in board-mounted battery will power the i9010 unit for its complete 10-year life. No replacement battery will ever be needed.

This alarm uses ionization sensing technology. Ionization sensing alarms may detect invisible fire particles (associated with flaming fires) sooner than photoelectric alarms. Photoelectric sensing alarms may detect visible particles (associated with smoldering fires) sooner than ionization alarms.

Kidde strongly recommends that both ionization and photoelectric smoke alarms be installed to help insure maximum detection of the various types of fire that can occur within the home

The Kidde i9010 sealed battery operated smoke alarm features a self-activation mechanism making installation simple and easy. It also features Hush™ feature allowing consumers to temporarily silence nuisance alarms and an End of Life Alert indicating it is time to replace the alarm.

At the end of the alarm's 10-year life, deactivation of the alarm is just as easy. Using a tool such as a small screwdriver, a deactivation switch removes power from the alarm and renders the battery safe for disposal. The alarm lockout feature mechanically prevents a deactivated unit from being mounted back on the mounting bracket.

Features and Benefits

- **Sealed-In Lithium Battery** – Sealed-in lithium power supply; no battery replacement required over the 10 year life of the alarm. Eliminates worry about battery removal or unauthorized deactivation of alarm.
- **Self Activation** – Alarm automatically activates when attached to the mounting bracket.
- **Alarm Memory** – Rapidly flashing LED alerts user if the alarm has sounded since the last time the test/reset button was used.
- **Hush™** – Will temporarily silence nuisance alarms and will not allow hush mode to be activated unless the unit is in alarm mode.
- **Test/Reset Button** – Tests unit's circuit operation and resets memory after an alarm condition occurs.
- **End of Life Warning** – Alarm chirps every 40-45 seconds indicating the alarm is in need of replacement.
- **Tamper Resist** – (when activated upon installation) effective in preventing someone from removing the unit from the mounting bracket.
- **LED** – A flashing red indicator light with four modes of operation: standby, alarm mode, hush mode, and memory set.



Architectural and Engineering Specifications

The smoke alarm shall be Kidde unit i9010/i9010CA or approved equal. It shall be powered by a non-replaceable lithium battery with a 10-year life. The lithium battery shall be sealed in the unit to prevent removal and/or tampering. The unit shall incorporate an ionization sensor with nominal sensitivity of 0.88%/ft (.95%/ft for unit i9010CA). The temperature operating range shall be between 40°F and 100°F (4°C and 38°C) and the humidity operating range shall be 5% - 85% relative humidity.

The smoke alarm can be installed on the surface of any wall or ceiling following the UL/Manufacturer's approved placement guidelines. The alarm shall incorporate an automatic activation feature that will activate the unit as soon as it is attached to the mounting bracket, no other steps are involved. The alarm shall provide optional tamper resistance that locks the unit to the mounting bracket and deters removal of the unit from the wall or ceiling.

The alarm shall include a test button that will simulate a fire condition and cause the unit to go into alarm. This sequence tests the unit's electronics to ensure proper operation.

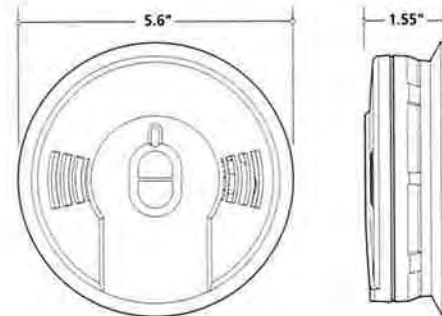
The unit shall include a piezoelectric horn that is rated at 85 decibels at 10 feet. The unit shall include the Hush™ feature that silences the unit for 7-9 minutes if a nuisance condition occurs. The red LED will illuminate for 1 seconds every 8 seconds and will automatically reset itself. If the alarm is in the Hush mode and the condition that triggered the alarm persists, the alarm shall sound again to signal potential danger despite its presence in Hush Mode. The unit shall incorporate one red LED to indicate the alarm's current status and mode of operation. The LED will indicate one of four modes:

- Standby Mode:** LED will flash every 40-45 seconds to indicate the unit is operating correctly
- Alarm Mode:** LED will flash every 1.5 seconds to indicate the unit is alarming and will be accompanied by the horn sounding (Model i9010CA LED will flash on for 1 second and off for 1 second)
- Hush Mode:** LED will illuminate for 1 seconds every 8 seconds to indicate the unit is temporarily silenced
- Memory Set Mode:** If Alarm Memory has been set, the LED will flash rapidly when the test button is pressed.

The unit shall include an End of Life Alert which indicates the alarm needs to be replaced. The unit will "chirp" once every 40-45 seconds to notify the user. The unit shall have a deactivation switch to disable it and make it safe for disposal. The unit shall at a minimum meet the requirements of UL217, NFPA72, (chapter 11 2002 edition) The State of California Fire Marshall, NFPA101 (One and two family dwellings) Federal Housing Authority (FHA), Housing and Urban Development (HUD).

Technical Specifications

Model:	i9010 (i9010CA Canadian model)
UPC Number:	0-47871-90136-4
Power Source:	One, 3V Lithium battery
Sensor:	Ionization
Audio Alarm:	85dB at 10ft
Temperature Range:	40°F (4.4°C) to 100°F (37.8°C)
Humidity Range:	5%-85% relative humidity (RH)
Size:	5.6" in diameter x 1.55" depth
Weight:	1 lb.
Interconnects:	No
LED:	Four modes of operation
Warranty:	10 year limited



Ordering Information

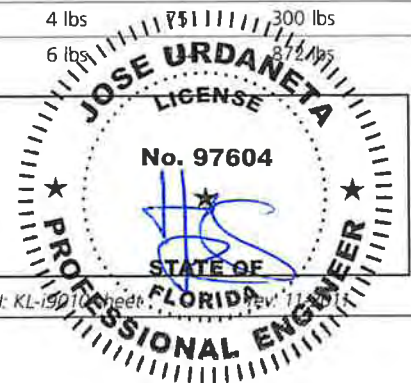
Clamshell UPC: 0 47871 90136 4
Gift Box: 0 47871 08697 9

Part Number	I 2 of 5	Pack Quantity	Dimensions (w x d x h inches)	Weight	Case/Skid	Skid Weight
900-0136 N/A	N/A	Individual Clamshell	7.25 x 1.75 x 11	1 lbs	N/A	N/A
900-0136 N/A	N/A	Individual Box	5.75 x 2 x 6.25	1 lbs	N/A	N/A
900-0136-003	100 47871 90136-1	PDQ (3 units)	7.75 x 6 x 11.75	3 lbs	108	972 lbs
900-0136-020	200 47871 90136-8	Master Pack (20 units)	16 x 24 x 12	20 lbs	12	240 lbs
21007387	400 47871 90136-2	4pc Tray and Lid	7.75 x 9.25 x 11.75	4 lbs	751	300 lbs
21008697	100 47871 08697-6	Gift Box, 6pc Master Pack	6 x 13 x 6.25	6 lbs	872	300 lbs



1016 Corporate Park Drive
Mebane NC 27302
1-800-880-6788
www.Kidde.com

Distributed by:



PIN: KL-19010 sheet Rev: 11/2017

AGTR2-W

20 Amp, Self Test, Tamper-Resistant Dual-Function AFCI/GFCI Outlet with LED Indicator Light

20 Amp, 125 Volt Dual Function AFCI/GFCI Receptacle, 20 Amp Feed-Through, Tamper-Resistant, Monochromatic, back and side wired, nylon wallplate/faceplate, screws and self-grounding clip included – White

The SmartlockPro® Dual Function AFCI/GFCI Receptacle offers protection both from electrical fires that could result from arc-faults and from electrical shock due to ground faults in one smart device. Through advanced technology, the SmartlockPro Dual Function AFCI/GFCI Receptacle helps protect home and family by working to detect arc-fault and ground fault hazards and, if detected, quickly cuts off power to help avoid a potential fire or shock occurrence. The SmartlockPro Dual Function AFCI/GFCI Receptacle offers a National Electrical Code® (NEC®) compliant option for AFCI/GFCI protection in residential kitchens and laundry areas for new construction, modifications/extensions and replacement receptacles. It is also ideal as a replacement for ungrounded receptacles, satisfying NEC requirements for both AFCI and GFCI protection.



Color : White

UPC Code : 078477744420

Country Of Origin : China

NEMA : 5-20R

Available Colors :



Technical Information

AC Horsepower Ratings

At Rated Voltage : 1 HP
Dielectric Voltage : Withstands 1250VAC per UL 1699A
Temperature Rise : Max 30C after 250 cycles OL at 200 percent rated current

Electrical Specifications

Dielectric Voltage : Withstands 1250VAC per UL 1699A
Flammability : Rated V-2 per UL 94
Operating Temperature : -35C to +66C
Temperature Rise : Max 30C after 250 cycles OL at 200 percent rated current

Environmental Specifications

Body Material : Polycarbonate
Clamps : Brass
Face Material : Thermoplastic
Flammability : Rated V-2 per UL 94
Grounding Screw : Plated Steel
Line Contacts : Brass Double-Wipe .031 Thick
Notes : w/ Wallplate

Material Specifications

Body Material : Polycarbonate
Clamps : Brass
Face Material : Thermoplastic
Grounding Screw : Plated Steel
Line Contacts : Brass Double-Wipe .031 Thick
Notes : w/ Wallplate
Product ID : Ratings are permanently marked on device
Terminal Accom. : 14-10 AWG to +66C

Note: The Electrical Contractor shall submit a specification sheet for approval if the selected device differs from this one.

THE FALCON GROUP
 Engineering and Architecture
 15405 NW 7th Avenue
 Miami, Florida 33169
 T: 305-663-1970
 West Palm Beach T: 561-290-0504

ACCEPTED AS SUBMITTED
 REJECTED
 ACCEPTED AS NOTED
 REVISE AND RESUBMIT
 RESUBMISSION NOT REQUIRED

DATE: 3/25/24
 BY: Jose Urdaneta

THIS CHECK IS ONLY FOR REVIEW OF GENERAL CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AND GENERAL COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. THIS CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS; SELECTING FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION COORDINATION OF HIS WORK WITH THAT OF ALL OTHER TRADES; AND PERFORMING HIS WORK IN A SAFE AND SATISFACTORY MANNER. CORRECTIONS OR COMMENTS MADE ON THE SHOP DRAWINGS DURING THIS REVIEW DO NOT RELIEVE THIS CONTRACTOR FROM COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.



Digitally signed by
 Jose J Urdaneta
 Date: 2024.03.25
 13:36:58 -04'00'

Terminal Screws : Plated Steel

Yoke : Zinc-Plated Steel

Terminal ID : Brass-Hot,
Green-Ground, Silver-Neutral

Terminal Screws : Plated Steel

Yoke : Zinc-Plated Steel

Mechanical Specifications

Amperage : 20 A

Color : White

Feature : AFCI, Self-test,
Tamper-Resistant

Grounding : Self-Grounding

NEMA : 5-20R

Pole : 2

Product ID : Ratings are
permanently marked on device

Series : AGTR2

Standards and Certifications
: UL/CSA, NEMA WD6, NEMA
WD1

Strap Material : Galvanized
Steel

Terminal Accom. : 14-10 AWG

Terminal ID : Brass-Hot,
Green-Ground, Silver-Neutral

Termination : Back & Side

Torque Range : 14 – 18 in.-lbs

Voltage : 125 VAC

Wire : 3

Standards and Certifications

ANSI : C-73

CSA C22.2 No. 42 : Yes

**CSA Technical Information
Letter No. M-02A** : Yes

NOM : Yes

UL Fed Spec WC-596 : Yes

UL1699.A : File E480630

UL498 : Yes

Product Features

Amperage : 20 A

At Rated Voltage : 1 HP

Color : White

Feature : AFCI, Self-test,
Tamper-Resistant

Grounding : Self-Grounding

NEMA : 5-20R

Pole : 2

Series : AGTR2

Standards and Certifications
: UL/CSA, NEMA WD6, NEMA
WD1

Strap Material : Galvanized
Steel

Termination : Back & Side

Type : Duplex Receptacle

Voltage : 125 VAC

Wallplate : Included

Wire : 3

Warranty

Warranty : 2-Year Limited



Features and Benefits

- Trip threshold meets or exceeds UL requirements for tripping time on ground faults and on both series and parallel arcs for optimal safety
- Engineered to meet the latest UL standard for auto-monitoring (self-test); periodically conducts an automatic internal test to confirm that GFCI protected power is available
- On initial power up, tests the GFCI circuit within 3 seconds

- Patented Lockout Action prevents reset if the device is damaged
- Status Indicator Light provides simple, intuitive feedback on power and protection status as well as indication of line/load reversal for at-a-glance analysis
- TEST and RESET buttons are readily accessible on the face of the device
- Improved immunity to high frequency noise reduces nuisance tripping
- Superior resistance to electrical surges and over-voltages enhancing reliability
- Patented bridge contact design provides individual sets of contacts for receptacle face and downstream receptacles; no power will be delivered to receptacle face if improperly wired (line-load reversed)
- One-piece T-design trip latch mechanism provides efficient operation
- Impact-resistant thermoplastic cover and body for durability
- Expanded wiring options with nine back-wire holes (two for each line and load connection plus one for ground with an internal clamp) for easy installation
- Compatible with all Decora® devices and wallplates for multi-gang installation option; available in select popular colors

SPECIFICATION SUBMITTAL

JOB NAME: <input style="width: 95%; height: 20px;" type="text"/>	CATALOG NUMBERS: <input style="width: 45%; height: 20px;" type="text"/> <input style="width: 45%; height: 20px;" type="text"/>
JOB NUMBER: <input style="width: 95%; height: 20px;" type="text"/>	<input style="width: 45%; height: 20px;" type="text"/> <input style="width: 45%; height: 20px;" type="text"/>

Leviton Manufacturing Co., Inc

201 North Service Road, Melville, NY 11747

Telephone: +1-800-323-8920 · FAX: +1-800-832-9538 · Tech Line (8:30AM-7:30PM E.S.

T. Monday-Friday): +1-800-824-3005

Leviton Manufacturing of Canada, Ltd.

165 Hymus Boulevard, Pointe Claire, Quebec H9R 1E9 · Telephone: +1-800-469-7890

FAX: +1-800-824-3005 · www.leviton.com/canada

Leviton S. de R.L. de C.V.

Lago Tana 43, Mexico DF, Mexico CP 11290 · Tel.: (+52)55-5082-1040 · FAX: (+52)

5386- 1797 · www.leviton.com.mx

Visit our Website at: www.leviton.com

© 2024 Leviton Manufacturing Co., Inc. All Rights Reserved. Subject to change without notice.

Leviton has a global presence.

If you would like to know where your local Leviton office is located please go to:

www.leviton.com/international/contacts

© 2024 Leviton Manufacturing Co., Inc.

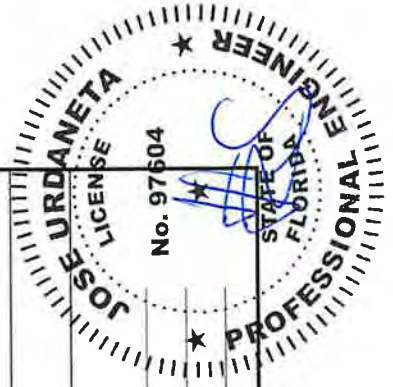


Plaza del Prado Condominium Association

Electrical Recertification Repairs
18071 Biscayne Blvd
Aventura, FL 33160

Unit No:	Building:				Tower:		Remarks	
	North	South	1	2	3	4		
No	Description of the scope of work						Work Completed	Qty
							Yes	No
1	The unit has been inspected by the electrical contractor.						<input type="checkbox"/>	<input type="checkbox"/>
2	Trace out existing circuits and provide typewritten circuit directory to residential electrical panel, as required by NEC-408.4(A).						<input type="checkbox"/>	<input type="checkbox"/>
3	Provide and install battery operated (battery-sealed) smoke alarm inside unit's bedrooms.						<input type="checkbox"/>	<input type="checkbox"/>
4	Provide and install battery operated (battery-sealed) smoke alarm outside unit's bedrooms.						<input type="checkbox"/>	<input type="checkbox"/>
5	Provide new tamper resistant dual function AFCI/GFCI receptacle, and replace the non-GFCI protected ones serving the kitchen countertops.						<input type="checkbox"/>	<input type="checkbox"/>
6	Provide new tamper resistant GFCI receptacle and replace the non-GFCI protected ones serving the bathrooms.						<input type="checkbox"/>	<input type="checkbox"/>
7	Provide new tamper resistant GFCI receptacle with an "in-use" type weather-proof enclosure, and replace the non-GFCI protected ones in the balcony.						<input type="checkbox"/>	<input type="checkbox"/>
8	Remove existing panel, provide and install a new 125 Amp 240V 1Φ 3W panel in same location in a flip installation.						<input type="checkbox"/>	<input type="checkbox"/>
9	Remove existing panel, provide and install a 125 Amp 240V 1Φ 3W, 6 ft from the original location. Includes a new 12"x20"x4" splice box, flush mounted with metal cover.						<input type="checkbox"/>	<input type="checkbox"/>
10	Remove existing panel, provide and install a 125 Amp 240V 1Φ 3W, 6 ft and up from the original location. Includes new a new 12"x20"x4" splice box, flush mounted with metal cover, and AFCI circuit breakers in accordance with 210.12(D).						<input type="checkbox"/>	<input type="checkbox"/>
11	Provide and install filler plate to seal opening in Circuit spaces.						<input type="checkbox"/>	<input type="checkbox"/>

Other comments:





**BUILDING DIVISION
OF AVENTURA**

**MINIMUM INSPECTION PROCEDURAL GUIDELINES
FOR BUILDINGS ELECTRICAL RECERTIFICATION**

INSPECTION COMMENCED
Date: 07/22/2021

INSPECTION MADE BY: Jose J. Urdaneta

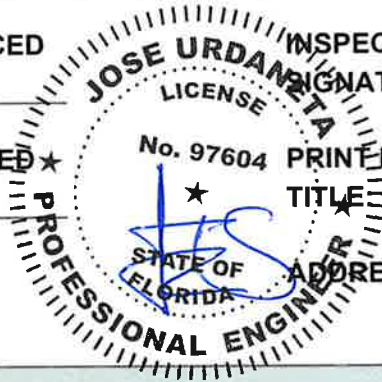
INSPECTION COMPLETED
Date: 07/27/2021

INSPECTOR SIGNATURE: _____

PRINT NAME: _____

TITLE: Division Manager of MEP at The Falcon Group

ADDRESS: 15405 NW 7th Ave.
Miami, FL 33169



DESCRIPTION OF STRUCTURE

a. Name on title: Del Prado Condo

b. Street address: 18021 Biscayne Blvd Aventura Florida 33160

c. Legal description: 2 PORS OF NW4 TWP 52-42-10 PLAT BOOK/PAGE 7074/444

d. Owner's name: Plaza del Prado Condominium Association Inc.

e. Owner's mailing address: 18021 Biscayne Blvd Aventura Florida 33160

f. Folio number of the property on which building is located: 28-2210-014-0001

g. Building code occupancy classification: R-2 (Apartments)

h. Present use: Apartment Building / Retail Spaces

i. General description, type of construction, size, number of stories and special features

Additional comments: Property is comprised of two (2), twenty (20) story residential building with a total of (682) apartment units, approximately 36,000 Sf each building, with a combined detached private driveway and garage, and on-site parking at the North, South and Westside of the property.

Deficiencies noted in this report are assumed to be common and may be present in other similar circumstances. A qualified Electrical Contractor shall use this report as a guide to investigate, and identify similar deficiencies which may be present throughout the building, including all residences, and rectify them under proper permits. The Electrical Contractor shall bring deficiencies to the attention of the Engineer of Record, and the owner's representative.

MINIMUM GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEARS STRUCTURES

1. ELECTRIC SERVICE

Main Service North Building, Tower I (For apartment units)

1. Size:	Amperage	(2000)	Fuses	(X)	Breakers	()
2. Phase:	Three-phase	(X)	Single phase	()		
3. Condition:	Good	()	Fair	(X)	Needs repair	()

Comments: Located inside the electrical room at level 1 of the North building tower I.

Main Service North Building, Tower II (For apartment units)

1. Size:	Amperage	(2000)	Fuses	(X)	Breakers	()
2. Phase:	Three-phase	(X)	Single phase	()		
3. Condition:	Good	()	Fair	(X)	Needs repair	()

Comments: Located inside the electrical room at ground level of North building tower II.

Main Service North Building, Tower III (For apartment units)

1. Size:	Amperage	(2000)	Fuses	(X)	Breakers	()
2. Phase:	Three-phase	(X)	Single phase	()		
3. Condition:	Good	()	Fair	(X)	Needs repair	()

Comments: Located inside the electrical room at ground level of North building tower III.

Main Service North Building, Tower IV (For apartment units)

1. Size:	Amperage	(2500)	Fuses	(X)	Breakers	()
2. Phase:	Three-phase	(X)	Single phase	()		
3. Condition:	Good	()	Fair	(X)	Needs repair	()

Comments: Located inside the electrical room at ground level of North building tower IV.

Main Service South Building, Tower I (For apartment units)

1. Size:	Amperage	(2000)	Fuses	(X)	Breakers	()
2. Phase:	Three-phase	(X)	Single phase	()		
3. Condition:	Good	()	Fair	(X)	Needs repair	()

Comments: Located inside the electrical room at level 1 of the South building tower I.

Main Service South Building, Tower II (For apartment units)

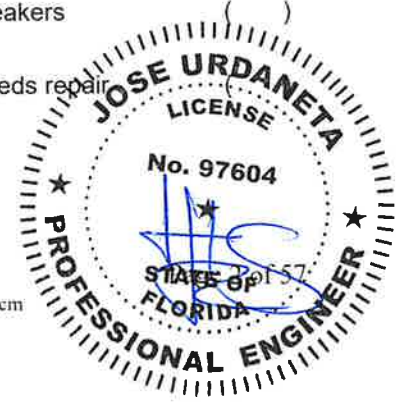
1. Size:	Amperage	(2000)	Fuses	(X)	Breakers	()
2. Phase:	Three-phase	(X)	Single phase	()		
3. Condition:	Good	()	Fair	(X)	Needs repair	()

Comments: Located inside the electrical room at ground level of South building tower II.

Main Service South Building, Tower III (For apartment units)

1. Size:	Amperage	(2000)	Fuses	(X)	Breakers	()
2. Phase:	Three-phase	(X)	Single phase	()		
3. Condition:	Good	()	Fair	(X)	Needs repair	()

Comments: Located inside the electrical room at ground level of South building tower III.



Main Service South Building, Tower IV (For apartment units)

- 1. Size: Amperage (2000) Fuses (X) Breakers ()
- 2. Phase: Three-phase (X) Single phase ()
- 3. Condition: Good () Fair (X) Needs repair ()

Comments: Located inside the electrical room at ground level of South building tower IV.

Main Service (No ID)

- 1. Size: Amperage (Unkwn) Fuses (X) Breakers ()
- 2. Phase: Three-phase (X) Single phase ()
- 3. Condition: Good () Fair () Needs repair (X)

Comments: Located inside the main switchgear room (South wall) at ground level of North building. 480v 3Φ. All main services disconnect switches must be identified as "Main X of X" and indicate what panel or load they serve. Other mains in this electrical room could not be identified. All enclosures have been painted without preserving the identification and the rating of the enclosed equipment; nameplates have been removed. There is no tag or label or nameplate of any kind that allows for proper identification. (Annex "A", Photo # 1)

Main Service (No ID)

- 4. Size: Amperage (600) Fuses () Breakers (X)
- 5. Phase: Three-phase (X) Single phase ()
- 6. Condition: Good () Fair () Needs repair (X)

Comments: Located inside the main switchgear room (North wall) at ground level of South building. 480v 3Φ. Must be identified as "Main X of X" and indicate what panel or load it serves. (Annex "A", Photo # 2)

Main Service (No ID)

- 1. Size: Amperage (600) Fuses () Breakers (X)
- 2. Phase: Three-phase (X) Single phase ()
- 3. Condition: Good () Fair () Needs repair (X)

Comments: Located inside the main switchgear room (South wall) at ground level of South building. 480v 3Φ. Must be identified as "Main X of X" and indicate what panel or load it serves. Other mains in this electrical room could not be identified. All enclosures have been painted without preserving the identification and the rating of the enclosed equipment; nameplates have been removed. There is no tag or label or nameplate of any kind that allows for proper identification. (Annex "A", Photo # 3)

2. METER AND ELECTRIC ROOM

- 1. Clearances: Good () Fair () Requires correction (X)

Comments: Repairs are required:

- North building and South building have four (4) stacks of meter rooms each. Meters rooms are located on floors 19, 16, 12, 9, 6, 3 on each tower of each building.
- Meter rooms were found used as storage. All electrical room must be kept free from foreign objects and not be used for general storage purposes. (Annex "A", Photo # 4)
- Main circuit breakers for the meter cans were found missing proper identification of the unit number the meter serves. (Annex "A", Photo # 5)
- Meter bank at North building, Tower I, level 3: missing cover to circuit breaker enclosure, exposing live parts. (Annex "A", Photo # 6)
- Meter bank at North building, Tower 3, level 19: opening in a meter can, exposing live parts. (Annex "A", Photo # 7)
- Meter bank at North building, Tower 3, level 9: Circuit breaker enclosure protective cover is missing screws hence not secured in place. (Annex "A", Photo # 7)
- Meter bank at North building, Tower 4, level 12: missing cover to circuit breaker enclosure, exposing live parts. (Annex "A", Photo # 8)



- Meter bank at South building, Tower 4, level 19: missing cover to circuit breaker enclosure, exposing live parts. (Annex "A", Photo # 9)
- Meter bank at South building, tower 3, level 12: missing cover to circuit breaker enclosure, exposing live parts. (Annex "A", Photo # 11)

3. GUTTERS

Location: North building, tower I, meter room, level 3. Good () Requires repair (X)

Taps and fill: Good (X) Requires repair ()

Comments:

- North building, tower 1, meter room level 3: gutter missing cover. (Annex "A" Photo # 12)
- North building, outside air unit 3N: gutter missing cover. (Annex "A" Photo # 13)

4. ELECTRICAL PANELS

NORTH BUILDING

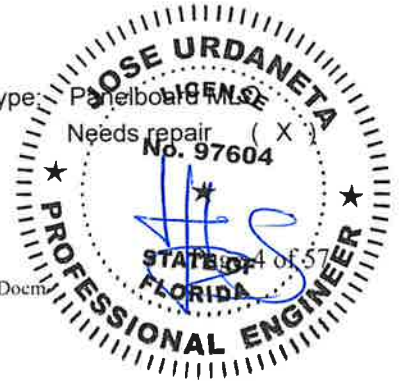
1. Panel #: No label Size: No ratings Phases: 3 Type: Panelboard MLO
 Location: North wall – Main electrical room Good () Needs repair (X)
 Comments: Panel requires repairs: (Annex "A", Photo # 14)
 a. Missing identification (label).
 b. Panel is missing cover shield, exposing live parts.
 c. Panel must be reverted to its original permanent condition.

2. Panel #: No label Size: 100 AMP Phases: 3 Type: Panelboard MLO
 Location: North wall – Main electrical room Good () Needs repair (X)
 Comments: Panel requires repairs: (Annex "A", Photo # 15)
 a. Missing identification (label).
 b. Missing circuit directory.
 c. Working space clearance violation. (Annex "A", Photo # 16)

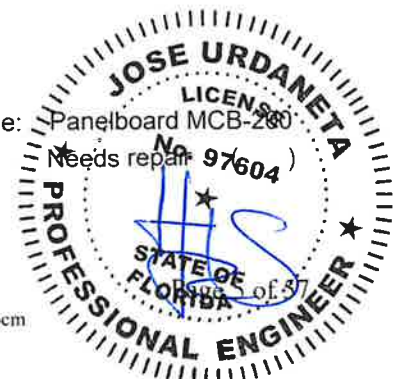
3. Pane #: No label Size: 150 AMP Phases: 3 Type: Panelboard MCB-150
 Location: North wall – Main electrical room Good () Needs repair (X)
 Comments: Panel requires repairs: (Annex "A", Photo # 17)
 a. Missing identification (label).
 b. Missing circuit directory.
 c. Missing cover shield.

4. Panel #: No label Size: 100 AMP Phases: 3 Type: Panelboard MCB-100
 Location: North wall – Main electrical room Good () Needs repair (X)
 Comments: Panel requires repairs: (Annex "A", Photo # 18).
 a. Missing identification (label).
 b. Missing circuit directory.
 c. Opening in circuit spaces.

5. Panel #: No label Size: No ratings Phases: 3 Type: Panelboard MLO
 Location: East wall – Main electrical room Good () Needs repair (X)
 Comments: Panel requires repairs: (Annex "A", Photo # 19).
 a. Missing identification (label).
 b. Missing circuit directory.



6. Panel #: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: East wall – Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 20).
a. Missing identification (label).
b. Missing circuit directory.
7. Panel #: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: East wall – Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 21)
a. Missing identification (label).
b. Missing circuit directory.
8. Panel #: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: South wall–Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 22).
a. Missing identification (label).
b. Missing circuit directory.
9. Panel #: No label Size: No ratings Phases: 3 Type: Switchgear
Location: South wall–Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 23)
a. Missing identification (label).
b. Missing circuit directory.
10. Panel#: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: East wall – Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 24)
a. Missing identification (label).
b. Missing circuit directory.
11. Panel#: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: Roof CT Mechanical Room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 25)
a. Missing identification (label).
b. Missing circuit directory.
12. Panel#: No label Size: 200 AMPS Phases: 3 Type: Panelboard MLO
Location: Roof CT Mechanical Room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 26)
a. Missing identification (label).
b. Missing circuit directory.
13. Panel#: Motor C.C. Size: 600 AMPS Phases: 3 Type: Panelboard MLO
Location: Roof CT Mechanical Room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", 2727, 28)
a. Missing identification (label).
b. Missing circuit directory.
c. Openings in enclosure exposing live parts.
14. Panel#: Fan Size: 200 AMPS Phases: 3 Type: Panelboard MCB-260
Location: Roof CT Mechanical Room Good (X) Needs repair ()
Comments: None.



15. Panel#: Sub panel 1	Size: 125 AMPS	Phases: 3	Type: Panelboard MCB-100
Location: Roof CT Mechanical Room	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 29)			
a. Opening in circuit space.			
16. Panel#: Sub panel 2	Size: 100 AMPS	Phases: 3	Type: Panelboard MLO
Location: Roof CT Mechanical Room	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 30)			
a. Missing circuit directory.			
17. Panel#: No label	Size: 225 AMPS	Phases: 3	Type: Panelboard MLO
Location: Tower 1 Laundry room level 14	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 31)			
a. Missing identification (label).			
18. Panel#: No label	Size: 225 AMPS	Phases: 3	Type: Panelboard MLO
Location: Tower 1 Laundry room level 4	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 32)			
a. Missing identification (label).			
19. Panel#: No label	Size: 225 AMPS	Phases: 3	Type: Panelboard MLO
Location: Tower 2 Laundry room level 14	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 33)			
a. Missing identification (label).			
b. Missing circuit directory.			
20. Panel#: No label	Size: 225 AMPS	Phases: 3	Type: Panelboard MLO
Location: Tower 2 Laundry room level 4	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 34)			
a. Missing identification (label).			
21. Panel#: No label	Size: 225 AMPS	Phases: 3	Type: Panelboard MLO
Location: Tower 3 Laundry room level 14	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 35)			
a. Missing identification (label).			
b. Missing circuit directory.			
22. Panel#: No label	Size: 225 AMPS	Phases: 3	Type: Panelboard MLO
Location: Tower 3 Laundry room level 4	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 36)			
a. Missing identification (label).			
b. Missing circuit directory.			
23. Panel#: No label	Size: 225 AMPS	Phases: 3	Type: Panelboard MLO
Location: Tower 4 Laundry room level 14	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 37)			
a. Missing identification (label).			
b. Missing circuit directory.			
24. Panel#: No label	Size: 225 AMPS	Phases: 3	Type: Panelboard MLO
Location: Tower 4 Laundry room level 4	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 38)			
a. Missing identification (label).			



b. Missing circuit directory.

25. Panel#: No label Size: 225 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 2, lobby level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 39)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit spaces.

26. Panel#: No label Size: 225 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 2, lobby level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 40)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit spaces.

27. Panel#: No label Size: 125 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 41)
a. Missing identification (label).
b. Missing circuit directory.

28. Panel#: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 42)
a. Missing identification (label).
b. Missing circuit directory.

29. Panel#: No label Size: 225 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 43)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit spaces.
d. Detached protective cover.

30. Panel#: No label Size: 200 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 44)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit spaces.

31. Panel#: No label Size: 150 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 3, lobby level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 45)
a. Missing identification (label).
b. Missing circuit directory.

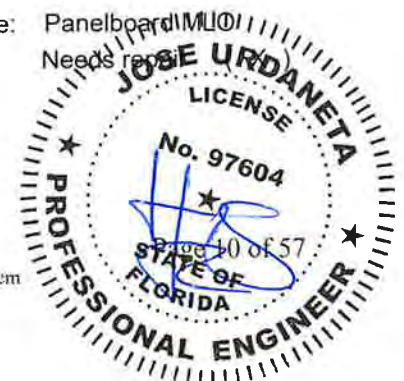
32. Panel#: No label Size: 200 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 46)
a. Missing identification (label).
b. Missing circuit directory.



40. Panel#: No label	Size: 200 AMP	Phases: 3	Type: Panelboard MLO
Location: South wall–Main electrical room	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 55)			
a. Missing identification (label).			
a. Missing circuit directory.			
41. Panel#: No label	Size: 225 AMP	Phases: 3	Type: Panelboard MLO
Location: West wall–Main electrical room	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 56)			
a. Missing identification (label).			
b. Missing circuit directory.			
c. Missing cover plate in circuit spaces.			
42. Panel#: No label	Size: 800 AMP	Phases: 3	Type: Panelboard MLO
Location: West wall–Main electrical room	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 57)			
a. Missing identification (label).			
b. Missing circuit directory.			
43. Panel#: No label	Size: 800 AMP	Phases: 3	Type: Panelboard MLO
Location: West wall–Main electrical room	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 58)			
a. Missing identification (label).			
b. Missing circuit directory.			
44. Panel#: No label	Size: 100 AMP	Phases: 3	Type: Panelboard MLO
Location: West wall–Main electrical room	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 59)			
a. Missing identification (label).			
a. Missing circuit directory.			
45. Panel#: DP2	Size: 200 AMP	Phases: 3	Type: Panelboard MLO
Location: Roof CT mechanical room	Good	(X)	Needs repair ()
Comments: None.			
46. Panel#: No label	Size: 125 AMP	Phases: 3	Type: Panelboard MLO
Location: Roof CT mechanical room	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 60)			
a. Missing identification label.			
b. Missing proper circuit directory.			
47. Panel#: AC	Size: 125 AMP	Phases: 3	Type: Panelboard MCB-100
Location: Roof CT mechanical room	Good	(X)	Needs repair ()
Comments: None.			
48. Panel#: Exhaust Fan	Size: 125 AMP	Phases: 3	Type: Panelboard MLO
Location: Roof CT mechanical room	Good	()	Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 61)			
a. Missing circuit directory.			
b. Opening in circuit space.			



49. Panel#: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: Roof CT mechanical room Good () Needs repair (X)
Comments: panel requires repairs. (Annex "A", Photo # 62)
a. Missing identification label.
b. Missing circuit directory.
c. Opening in circuit space.
50. Panel#: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: Roof CT mechanical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 63)
a. Missing identification label.
b. Missing circuit directory.
c. Opening in circuit space.
51. Panel#: No label Size: 600 AMP Phases: 3 Type: Panelboard MLO
Location: Roof CT mechanical room Good () Needs repair (X)
Comments: This is a combo panel/motor control center It requires repairs: (Annex "A", Photo # 64)
a. Missing identification (label).
b. Missing circuit identification.
52. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 1 Laundry room level 14 Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 65, Photo # 66, Photo # 67)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening exposing live parts.
53. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 1 Laundry room level 4 Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 68)
a. Missing identification (label).
b. Missing circuit directory.
54. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 2 Laundry room level 14 Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 69)
a. Missing identification (label).
55. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 2 Laundry room level 4 Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 70)
a. Missing identification (label).
b. Missing circuit directory.
56. Panel#: L6 Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3 Laundry room level 14 Good (X) Needs repair ()
Comments: None.
57. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3 Laundry room level 4 Good () Needs repair ()
Comments: Panel requires repairs: (Annex "A", Photo # 71)
a. Missing identification (label).
b. Missing circuit directory.



58. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 4 Laundry room level 14 Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 72)
a. Missing identification (label).
b. Missing circuit directory.

59. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 4 Laundry room level 4 Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 73, Photo # 74, Photo # 75 & Photo # 76)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit space.
d. Protective cover not properly secured in place.
e. Water intrusion evidence.
f. Panel interior parts must be cleaned out from dust and lint.

60. Panel#: No label Size: 100 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 2, lobby level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 77)
a. Missing identification (label).

61. Panel#: No label Size: 70 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 78)
a. Missing identification (label).
b. Missing circuit directory.

62. Panel#: No label Size: 60 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 79)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit space.

63. Panel#: H2C Size: No ratings Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 80)
a. Missing circuit directory.
b. Opening in circuit space.

64. Panel#: No label Size: 200 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 81)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit space.

65. Panel#: E1A Size: 100 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 82)
a. Missing circuit directory.
b. Opening in circuit space.



66. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 83)
a. Missing identification (label).
b. Missing circuit directory.
c. Missing protective cover.
67. Panel#: H1A Size: 125 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 84)
a. Missing circuit directory.
b. Opening in circuit space.
68. Panel#: H1B Size: 125 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 85)
a. Missing circuit directory.
b. Opening in circuit space.
69. Panel#: H1C Size: 125 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 86)
a. Missing circuit directory.
b. Opening in circuit space.
70. Panel#: No label Size: 400 AMP Phases: 3 Type: Panelboard MLO
Location: Storage room under pool deck Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 87 & Photo # 88)
a. Missing identification label.
71. Panel#: Residential Size: 125 AMP Phases: 1 Type: Panelboard MLO
Location: Residential units. Good () Needs repair (X)
Comments: Typical deficiencies found for residential panels are:
a. Missing circuit directory/circuit directory does not match current installation/circuit directory is confusing or not clear. (Annex "A", Photo # 89 & Photo # 90)
b. Openings in circuit spaces, exposing live parts. (Annex "A", Photo # 91 & Photo # 92)
c. Working space clearance violation: panel were found blocked by the refrigerator or a countertop. (Annex "A", Photo # 93 & Photo # 94)

5. BRANCH CIRCUITS

1. Identified: Yes () Must be identified (X)
2. Conductors: Good (X) Deteriorated () Must be replaced ()
Comments: Branch circuits must be identified at the location of the overcurrent protection device. Refer to "ELECTRICAL PANEL" section for specific identification requirements for each panel.



6. GROUNDING SERVICE

Good (X) Repairs required ()

Comments: None.

7. GROUNDING OF EQUIPMENT

Good (X) Repairs required ()

Comments: None.

8. SERVICE CONDUITS/RACEWAYS

Good (X) Repairs required ()

Comments: None.

9. SERVICE CONDUCTORS AND CABLES

Good (X) Repairs required ()

Comments: None.

10. TYPE OF WIRING METHODS

Conduit raceways:	Good ()	Repairs required (X)	
Conduit PVC:	Good (X)	Repairs required ()	N/A ()
NM cable:	Good ()	Repairs required ()	N/A (X)
BX cable:	Good ()	Repairs required ()	N/A (X)

Comments:

NORTH BUILDING:

- a. Disconnect switch not labeled to identify the load it serves (Roof cooling tower mechanical room). (Annex "A", Photo # 95)
- b. The 120v receptacle serving the washer machine (all levels, all towers) are missing GFCI protection. Most of them do not have proper grounding (blocked by painting). (Annex "A", Photos # 96, 97, 98, 99, 100 & 101).
- c. Combo switch-receptacle missing protective cover (tower 3 PH level storage room). (Annex "A", Photo # 102)
- d. Broken receptacle cover (meter room level 16, tower 2). (Annex "A", Photo # 103)
- e. Receptacle for the drinking water fountain must have GFCI protection (Lobby level). (Annex "A", Photo # 104)
- f. Opening in junction boxes/enclosures:
 1. Roof level (Annex "A", Photos # 105 & 106)
 2. Boiler room (Annex "A", Photos # 107, 108 & 109)
 3. Elevator machine room N2 (Annex "A", Photo # 110)

SOUTH BUILDING:

- a. Disconnect switch not labeled to identify the load it serves:
 1. Cooling tower mechanical room, (Annex "A", Photo # 111 & Photo # 112)
 2. Boiler room at roof: (Annex "A", Photo # 113)



- 3. West 100% OAHU room (Annex "A", Photo # 114)
- 4. East 100% OAHU room (4S) (Annex "A", Photo # 115)
- 5. Main switchgear room, (Annex "A", Photo # 116)
- 6. Tower 4, ground level (service disconnect switch) (Annex "A", Photo # 117)
- b. The 120v receptacle serving the washer machine (all levels, all towers) are missing GFCI protection. Most of them do not have proper grounding (blocked by painting). (Annex "A", Photos # 96, 97, 98, 99, 100 & 101).
- c. Conduit mechanically detached: 100% OAHU room (Annex "A", Photo # 118)
- d. Receptacle and switch without cover, not securely attached to the box. (Annex "A", Photo # 119)
- e. Receptacle and switch not properly secured to the box. (Annex "A", Photo # 120)
- f. Phase conductors inside unlabeled DS (in main switchgear room) are marked using wrong colors (Red-Blue-Black instead of Brown-Orange-Yellow) for their voltage (480/277V 3Φ). (Annex "A", Photo # 121)
- g. Opening in junction boxes/enclosures:
 - 1. roof AC room (Annex "A", Photo # 122)
 - 2. roof cooling tower mechanical room (Annex "A", Photo # 123)
- h. Working space clearance violation for the motor control center, cooling tower mechanical room (30", at least 4' clearance is required). (Annex "A", Photos # 124, 125, 126 & 127)
- i. Said motor control center is missing cover, exposing live wires (Annex "A", Photo # 128)

11. FEEDER CONDUCTORS

Good (X) Repairs required ()

Comments: None.

12. EMERGENCY LIGHTING

Good (X) Repairs required ()

Comments: None.

13. BUILDING EGRESS ILLUMINATION

Good () Repairs required (X)

Comments: Insufficient illumination levels found in the following areas (Repairs are required):

NORTH BUILDING

- a. South stair, PH level. (Annex "A", Photo # 129)
- b. Tower 1, stair TN1 19F. (Annex "A", Photo # 130)
- c. Tower 1, stair TN1 18F. (Annex "A", Photo # 131)
- d. Tower 1, stair TN1 12F. (Annex "A", Photo # 132)
- e. Tower 1, stair TN1 8F. (Annex "A", Photo # 133)
- f. Tower 1, stair TN1 7F. (Annex "A", Photo # 134)
- g. Tower 2, stair TN2 3F.

SOUTH BUILDING:

- a. South stair, PH level. (Annex "A", Photo # 135)
- b. South stair, level 19. (Annex "A", Photo # 136 & Photo # 137)
- c. Tower 3, exterior stair, level 3 to lobby. (Annex "A", Photo # 138 & Photo # 139)



14. FIRE ALARM SYSTEM

Good (X) Repairs required ()

Comments: None.

15. SMOKE DETECTORS

Good () Repairs required (X)

Comments: Residential units require smoke alarm inside sleeping rooms per Florida Fire Prevention Code - NFPA 101 rule 31.3.4.5

16. EXIT LIGHTS

Good () Repairs required (X)

Comments:

- a. North building roof: Stairwell exit doors are missing exit sign (Annex "A", Photos 140, 141, 142 & 143).
- b. South building roof: Stairwell exit doors are missing exit sign (Annex "A", Photos 144, 145, 146 & 147).

17. EMERGENCY GENERATOR

Good (X) Repairs required ()

Comments: None.

18. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS

Good (X) Repairs required ()

Comments: None.

19. OPEN OR UNDERCOVER PARKING GARAGE AREAS AND EGRESS ILLUMINATION

Good () Repairs required (X)

Comments: The open parking lot at ground level was not found in compliance with the requirements of section 8C-3 of Florida Code of Ordinances. Some areas were identified with illumination levels under the minimum requirement of 1.0 foot-candle. Refer to Annex C for a map of photometric readings.



20. SWIMMING POOL WIRING

Good () Repairs required (X)

Comments:

- a. Water heater must be bonded to the pool equipotential bonding. (Annex "A", Photo # 148)

21. WIRING TO MECHANICAL EQUIPMENT

Good (X) Repairs required ()

Comments: None.

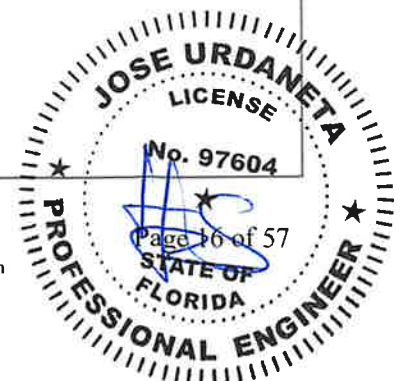
22. ADDITIONAL COMMENTS

Out of the 682 existing dwelling units, a total of 32 residences (%5) were entered upon availability, and were inspected to identify "typical" electrical deficiencies.

These deficiencies are assumed to be common and may be present in other similar circumstances. A qualified electrical contractor shall utilize this report as a guide to investigate, and identify similar deficiencies which may be present in all residences throughout the facility, and rectify under proper permits. Electrical contractor shall also bring all deficiencies to the attention of the engineer of record, and the board's representative.

The following table depicts the inferred percentages of incidence of the typical deficiencies found inside the residential units.

No	Description	Found	% Incidence	Units potentially affected
1	Missing GFCI protection for receptacles in the kitchen	26	81%	555
2	Missing GFCI protection for receptacles in the bathrooms	28	88%	597
3	Missing GFCI protection for receptacles in the balcony	8	25%	171
4	Missing smoke alarm inside the sleeping rooms	30	94%	640
5	Missing smoke alarm outside of the sleeping rooms	5	16%	107
6	Electrical panel: working space clearance violation	14	44%	299
7	Electrical panel: missing proper circuit directory	14	44%	299
8	Electrical panel: opening in circuit spaces	5	16%	107



Annex "A"

Site Photographs





Photo # 1. Unidentified service-disconnect switch (main electrical room North building)



Photo # 2. Unidentified service-disconnect switch (main electrical room South building)



Photo # 3. Unidentified service-disconnect switch (main electrical room South building)



Photo # 4. Meter rooms were found use for storage purposes





Photo # 5. Some main circuit breakers in the meter cans are missing identification of the unit they serve.



Photo # 6. North building tower 1, meter bank level 3: missing cover for meter can circuit breaker enclosure.



Photo # 7. North building, tower 3, meter room level 19: opening in meter can. Notice the circuit breaker cover is missing screws.

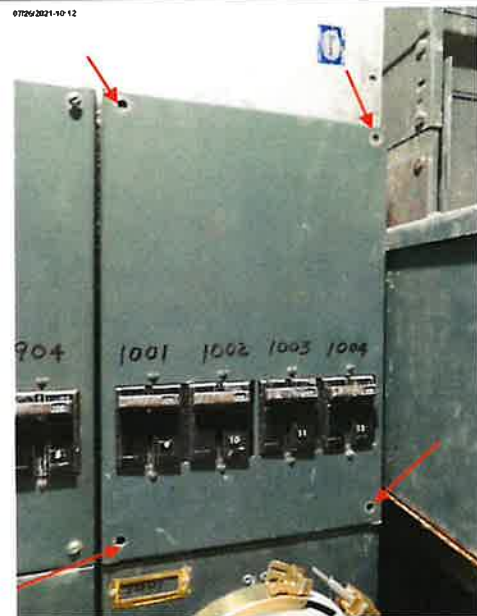
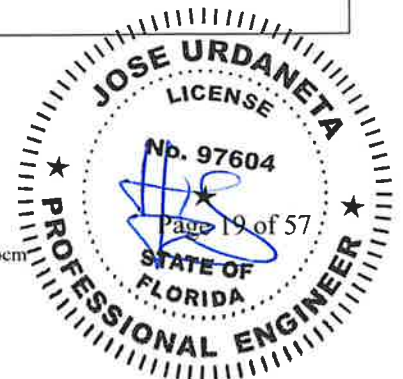


Photo # 8. North building, tower 3, meter room at level 9: circuit-breaker cover missing screws.



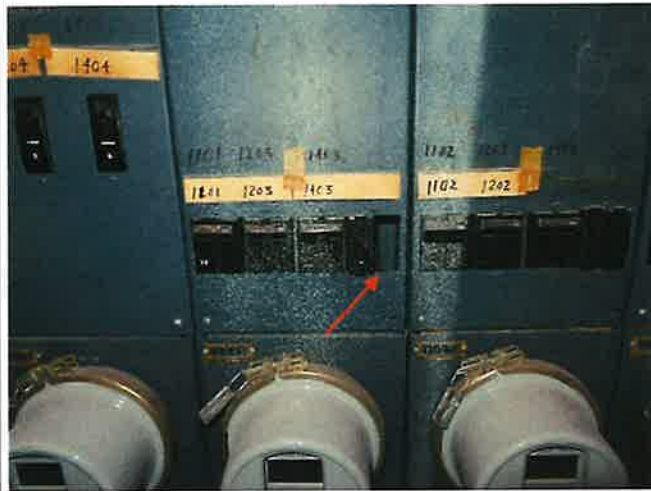


Photo # 9. North building, tower 4, meter room level 12: opening in circuit breaker space.



Photo # 10. South building, tower 4, meter room level 19: opening in circuit breaker space.



Photo # 11. South building, tower 3, meter room level 12: opening in circuit breaker space.



Photo # 12. Gutter in meter room level 3, North building, tower 1.



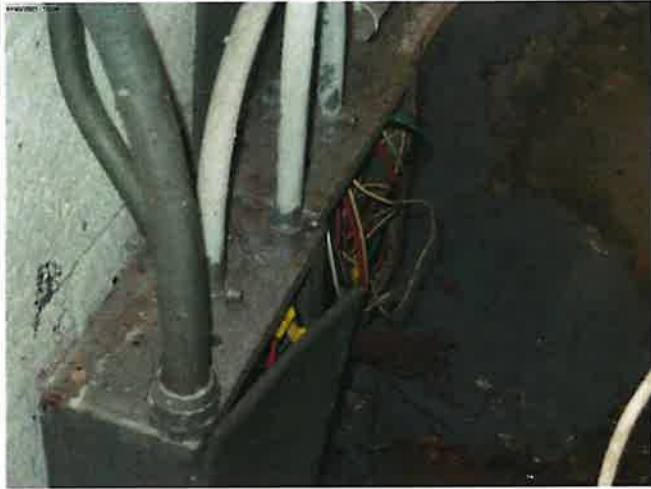


Photo # 13. Outside Air Unit 3N room: gutter missing cover.



Photo # 14. North building main electrical room electrical panel depicted (item #4.1)



Photo # 15. North building main electrical room electrical panel depicted (item #4.2)



Photo # 16. North building main electrical room electrical panel depicted (item #4.2 "clearance violation")





Photo # 17. North building main electrical room electrical panel depicted (item #4.3)



Photo # 18. North building main electrical room electrical panel depicted (item #4.4)



Photo # 19. North building main electrical room electrical panel depicted (item #4.5)



Photo # 20. North building main electrical room electrical panel depicted (item #4.6)





Photo # 21. North building main electrical room electrical panel depicted (item #4.7)



Photo # 22. North building main electrical room electrical panel depicted (item #4.8)



Photo # 23. North building main electrical room electrical panel depicted (item #4.9)



Photo # 24. North building main electrical room electrical panel depicted (item #4.10)

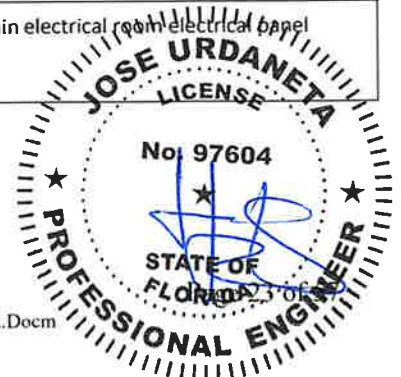




Photo # 25. North building - electrical panel depicted (item #4.11)



Photo # 26. North building - electrical panel depicted (item #4.12)



Photo # 27. North building - electrical panel depicted (item #4.13)



Photo # 28. North building - electrical panel depicted (item #4.13)





Photo # 29. North building - electrical panel depicted (item #4.15)



Photo # 30. North building - electrical panel depicted (item #4.16)



Photo # 31. North building - electrical panel depicted (item #4.17)



Photo # 32. North building - electrical panel depicted (item #4.18)





Photo # 33. North building - electrical panel depicted (item #4.19)



Photo # 34. North building - electrical panel depicted (item #4.20)



Photo # 35. North building - electrical panel depicted (item #4.21)



Photo # 36. North building - electrical panel depicted (item #4.22)





Photo # 37. North building - electrical panel depicted (item #4.23)



Photo # 38. North building - electrical panel depicted (item #4.24)



Photo # 39. North building - electrical panel depicted (item #4.25)



Photo # 40. North building - electrical panel depicted (item #4.26)

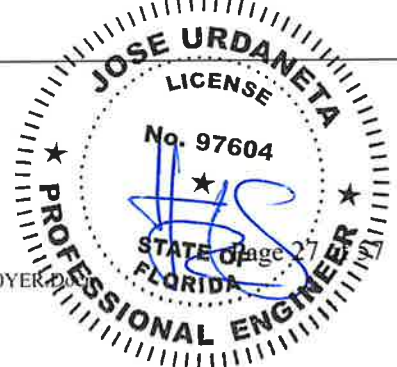




Photo # 41. North building - electrical panel depicted (item #4.27)



Photo # 42. North building - electrical panel depicted (item #4.28)



Photo # 43. North building - electrical panel depicted (item #4.29)



Photo # 44. North building - electrical panel depicted (item #4.30)





Photo # 45. North building - electrical panel depicted (item #4.31)



Photo # 46. North building - electrical panel depicted (item #4.32)



Photo # 47. North building - electrical panel depicted (item #4.33)



Photo # 48. North building - electrical panel depicted (item #4.34)

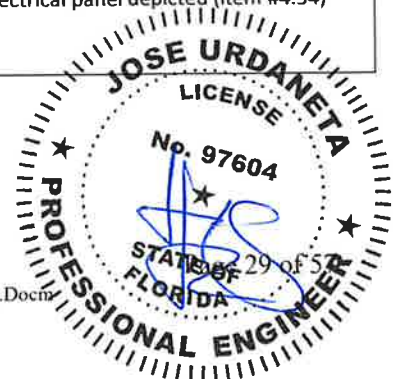




Photo # 49. North building - electrical panel depicted (item #4.35)



Photo # 50. North building - electrical panel depicted (item #4.36)



Photo # 51. South building main electrical room electrical panel depicted (item #4.37)



Photo # 52. South building main electrical room electrical panel depicted (item #4.37)

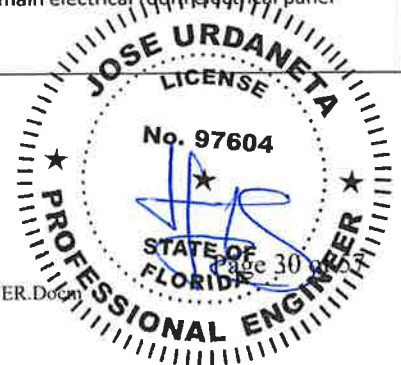




Photo # 53. South building main electrical room electrical panel depicted (item #4.38)



Photo # 54. South building main electrical room electrical panel depicted (item #4.39)

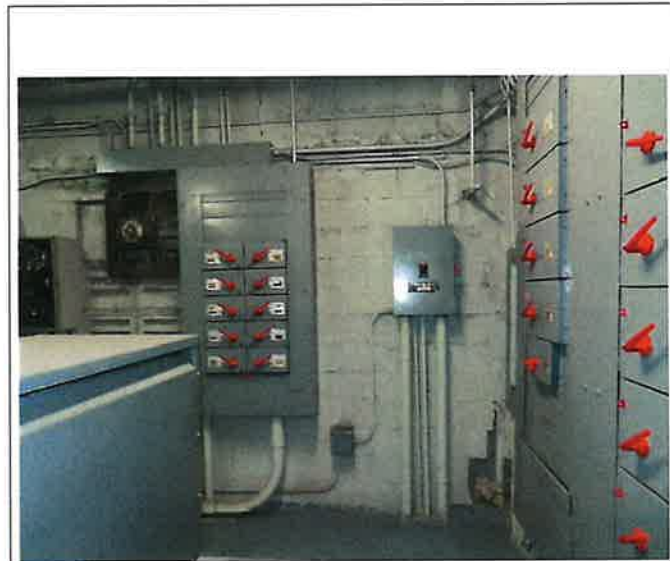


Photo # 55. South building main electrical room electrical panel depicted (item #4.40)



Photo # 56. South building main electrical room electrical panel depicted (item #4.41)

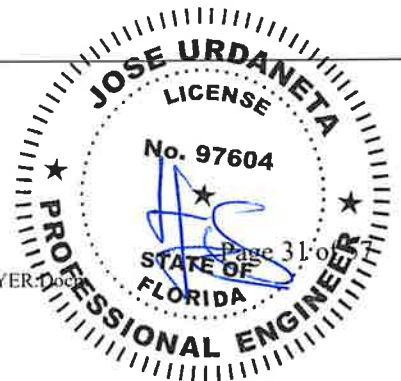




Photo # 57. South building main electrical room electrical panel depicted (item #4.42)



Photo # 58. South building main electrical room electrical panel depicted (item #4.43)



Photo # 59. South building main electrical room electrical panel depicted (item #4.44)



Photo # 60. South building - electrical panel depicted (item #4.46)

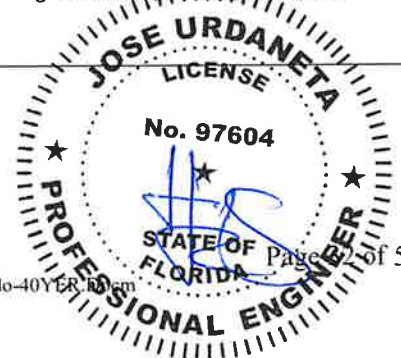




Photo # 61. South building - electrical panel depicted (item #4.48)

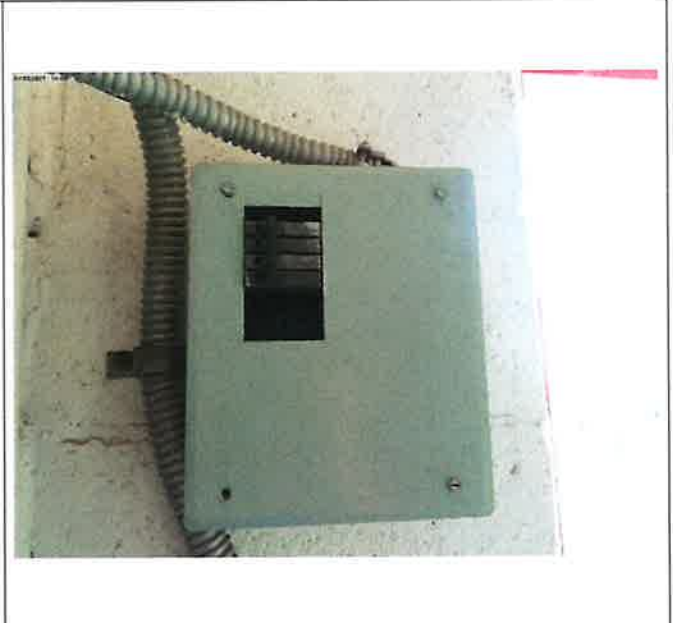


Photo # 62. South building - electrical panel depicted (item #4.49)



Photo # 63. South building - electrical panel depicted (item #4.50)

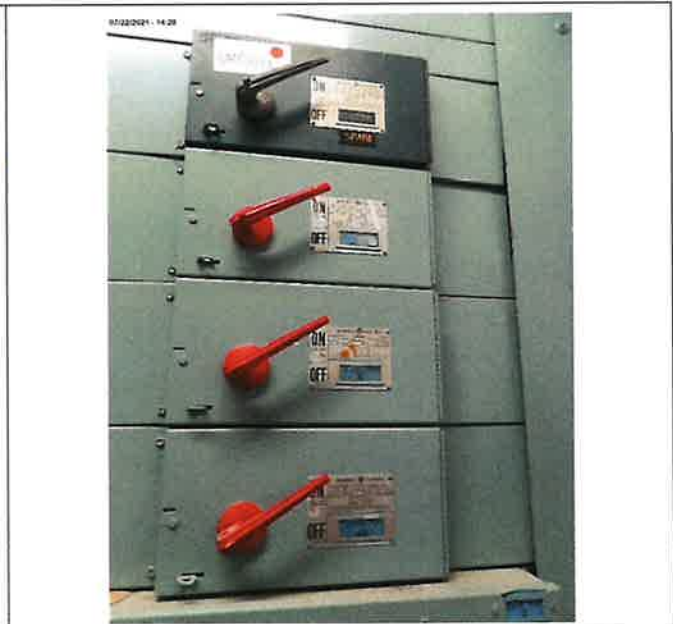


Photo # 64. South building - electrical panel depicted (item #4.51)

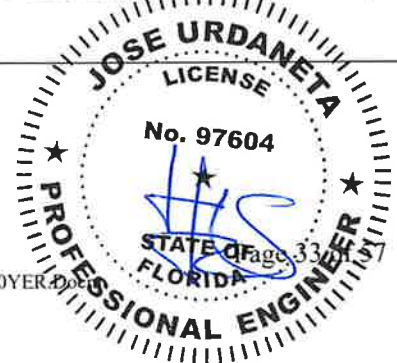




Photo # 65. South building - electrical panel depicted (item #4.52)



Photo # 66. South building - electrical panel depicted (item #4.52)



Photo # 67. South building - electrical panel depicted (item #4.52)



Photo # 68. South building - electrical panel depicted (item #4.53)





Photo # 69. South building - electrical panel depicted (item #4.54)



Photo # 70. South building - electrical panel depicted (item #4.55)



Photo # 71. South building - electrical panel depicted (item #4.57)



Photo # 72. South building - electrical panel depicted (item #4.58)

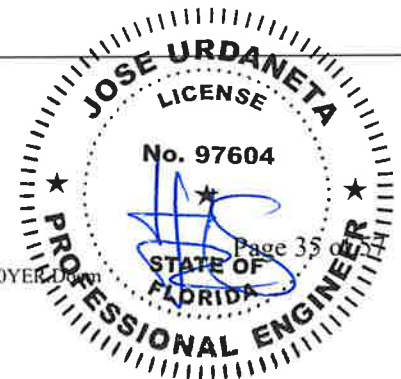




Photo # 73. South building - electrical panel depicted (item #4.59)



Photo # 74. South building - electrical panel depicted (item #4.59)



Photo # 75. South building - electrical panel depicted (item #4.59)



Photo # 76. South building - electrical panel depicted (item #4.59)





Photo # 77. South building - electrical panel depicted (item #4.60)



Photo # 78. South building - electrical panel depicted (item #4.61)



Photo # 79. South building - electrical panel depicted (item #4.62)



Photo # 80. South building - electrical panel depicted (item #4.63)

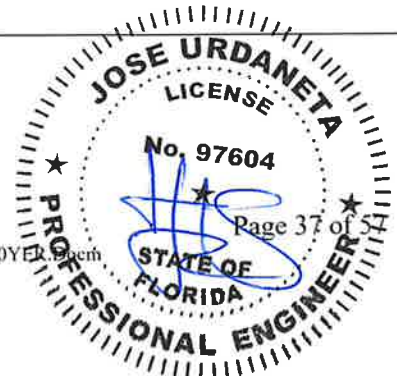




Photo # 81. South building - electrical panel depicted (item #4.64)



Photo # 82. South building - electrical panel depicted (item #4.65)



Photo # 83. South building - electrical panel depicted (item #4.66)

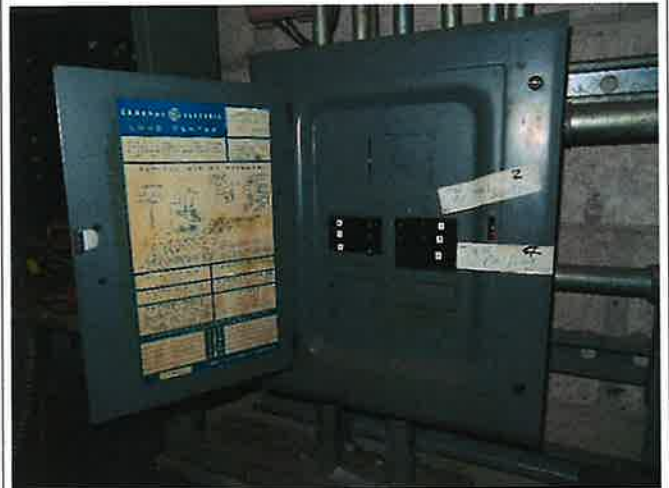


Photo # 84. South building - electrical panel depicted (item #4.67)



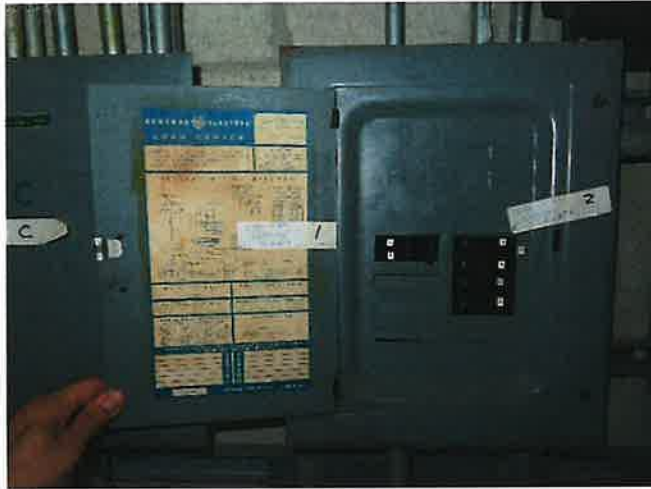


Photo # 85. South building - electrical panel depicted (item #4.68)



Photo # 86. South building - electrical panel depicted (item #4.69)



Photo # 87. Marina storage room (under the pool deck) – electrical panel depicted (item #4.70)



Photo # 88. Marina storage room (under the pool deck) – electrical panel depicted (item #4.70)





Photo # 89. Typical residential panel where the circuit directory is missing, incomplete or confusing (item #4.71)



Photo # 90. Typical residential panel where the circuit directory is missing, incomplete or confusing (item #4.71)



Photo # 91. Typical residential panel having an opening in a circuit space (item #4.71)



Photo # 92. Typical residential panel having an opening in a circuit space (item #4.71)

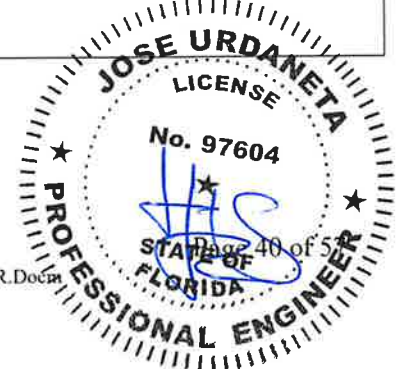




Photo # 93. Typical residential panel where there is no working space clearance (item #4.71)



Photo # 94. Typical residential panel where there is no working space clearance (item #4.71)

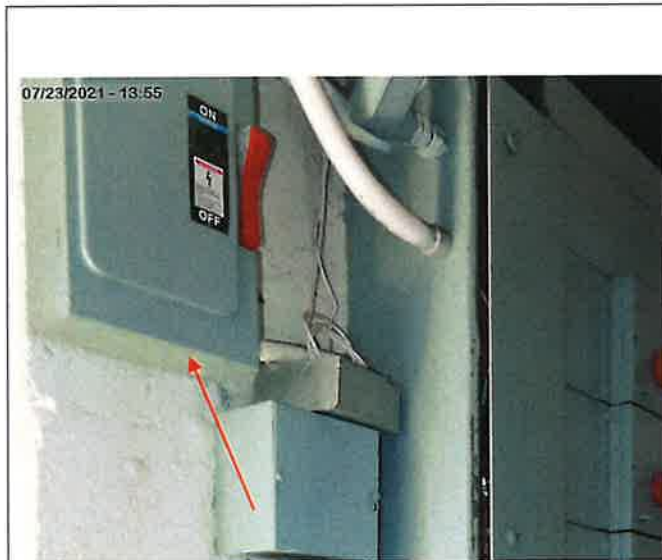


Photo # 95. Disconnect switch not labeled to identify the load it serves (North building, roof cooling tower mechanical room)(Item #10.a)



Photo # 96. Laundry room receptacle for the washer machine is depicted. Notice the grounding is missing. Also, GFCI protection is required (typical for all level, all towers in both buildings)

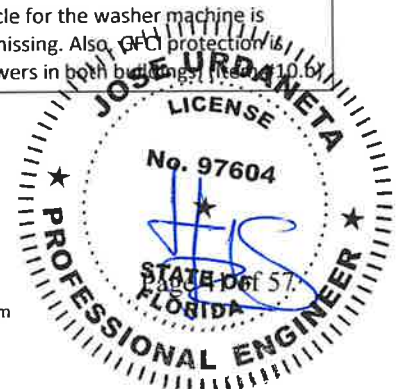




Photo # 97. Laundry room receptacle for the washer machine is depicted. Notice the grounding is missing. Also, GFCI protection is required (typical for all level, all towers in both buildings) (Item #10.b)



Photo # 98. Laundry room receptacle for the washer machine is depicted. Notice the grounding is missing. Also, GFCI protection is required (typical for all level, all towers in both buildings) (Item #10.b)



Photo # 99. Laundry room receptacle for the washer machine is depicted. Notice the grounding is missing. Also, GFCI protection is required (typical for all level, all towers in both buildings) (Item #10.b)

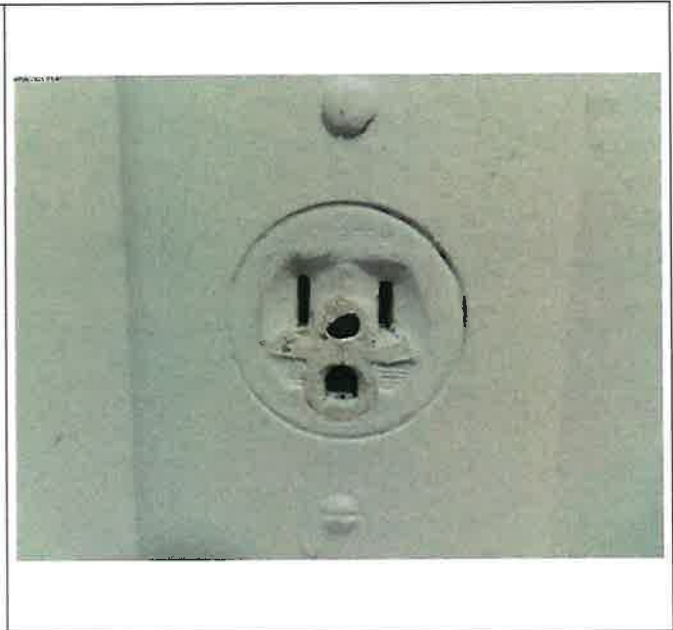


Photo # 100. Laundry room receptacle for the washer machine is depicted. Notice paint has penetrated the connection. Also, GFCI protection is required (Item #10.b)



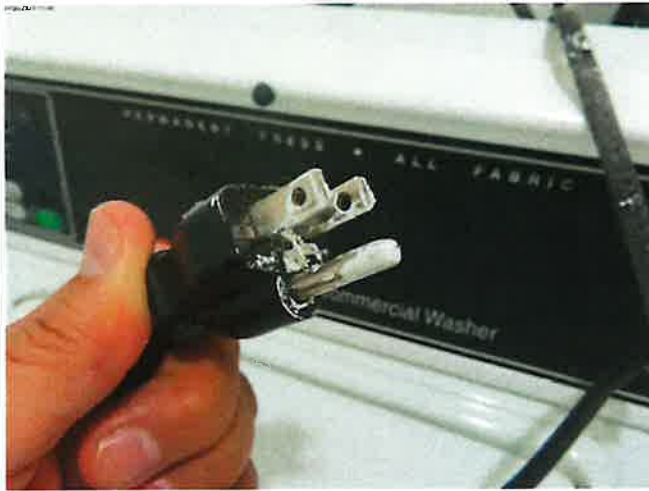


Photo # 101. A plug for the washer machine is depicted. Notice paint covering the metal connectors which impeach proper grounding. Plug connectors must be cleaned (typical) (Item #10.b)



Photo # 102. North building, tower 3, PH level storage room: receptacle missing protective cover.



Photo # 103. Broken receptacle cover, meter room level 16, North building, tower 2.



Photo # 104. Receptacle for the drinking water fountain must have GFCI protection.

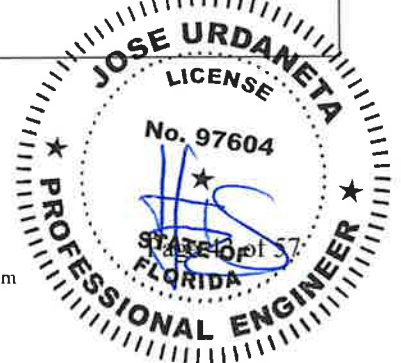




Photo # 105. Opening in junction boxes/enclosures (Item #10.f.1)

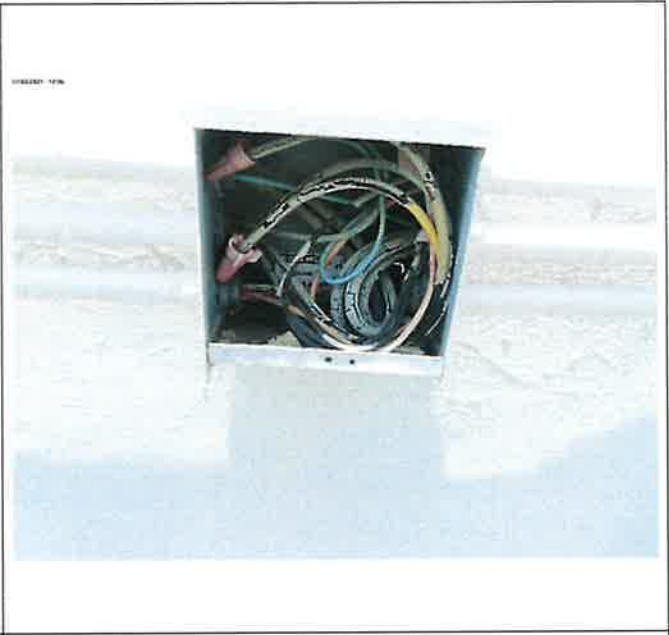


Photo # 106. Opening in junction boxes/enclosures (Item #10.f.1)



Photo # 107. Opening in junction boxes/enclosures (Item #10.f.2)

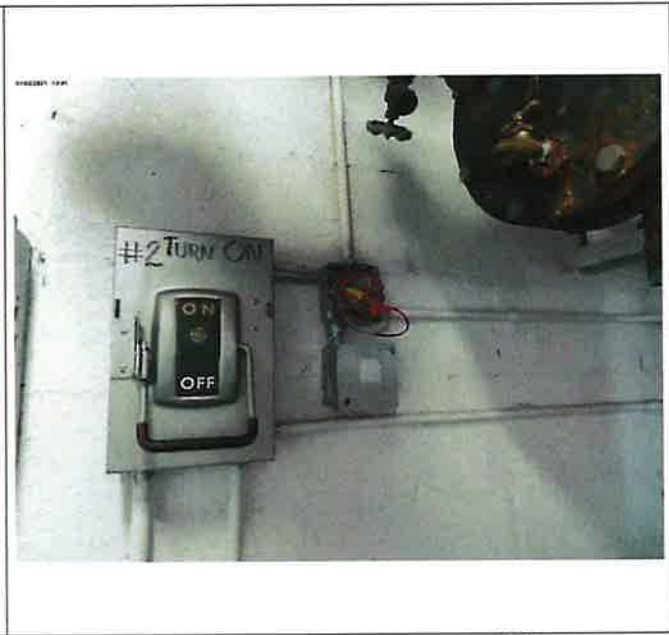


Photo # 108. Opening in junction boxes/enclosures (Item #10.f.2)

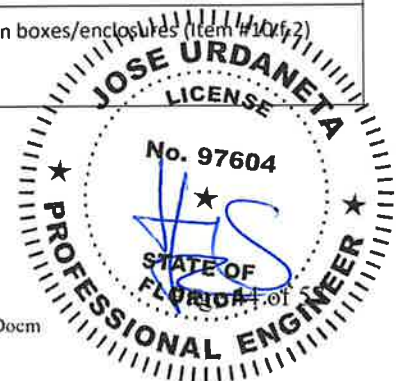




Photo # 109. Opening in junction boxes/enclosures (Item #10.f.2)



Photo # 110. Opening in junction boxes/enclosures (Item #10.f.3)

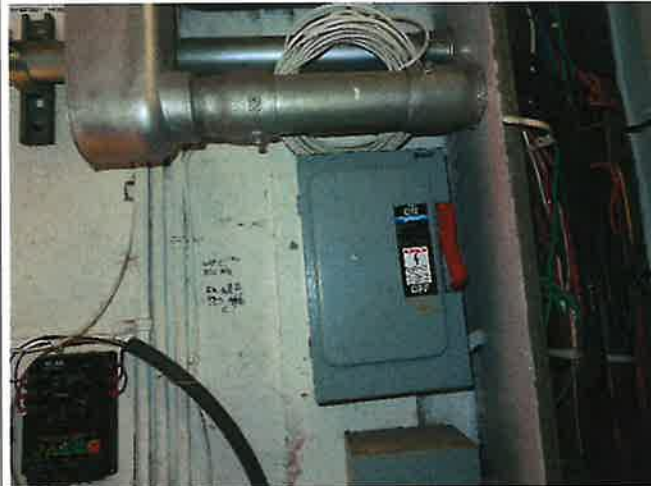


Photo # 111. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.1)



Photo # 112. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.1)





Photo # 113. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.2)



Photo # 114. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.3)



Photo # 115. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.4)



Photo # 116. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.5)





Photo # 117. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.6)



Photo # 118. Conduit mechanically detached (Item # 10-SOUTH-c)



Photo # 119. Receptacle and switch without cover (Item # 10-SOUTH-d)



Photo # 120. Receptacle and switch not properly secured to the box (Item # 10-SOUTH-d)





Photo # 121. Wrong color marking for phase conductors (Item # 10-SOUTH-f)



Photo # 122. Opening in junction box exposing live wires (Item # 10-SOUTH-g.1)



Photo # 123. Opening in junction box exposing live wires (Item # 10-SOUTH-g.2)



Photo # 124. Working space clearance violation (Item # 10-SOUTH-h)

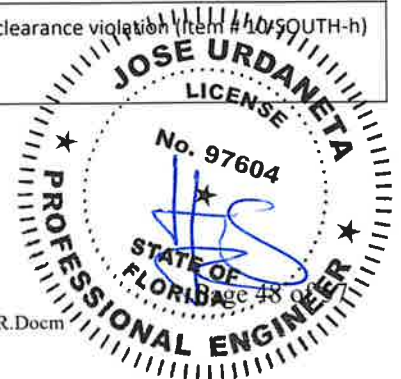




Photo # 125. Working space clearance violation (Item # 10-SOUTH-h)



Photo # 126. Working space clearance violation (Item # 10-SOUTH-h)



Photo # 127. Working space clearance violation (Item # 10-SOUTH-h)



Photo # 128. Missing protective cover for the motor control center (Item # 10-SOUTH-i)





Photo # 129. Insufficient illumination for the building means of egress (Item #13.NORTH-a).

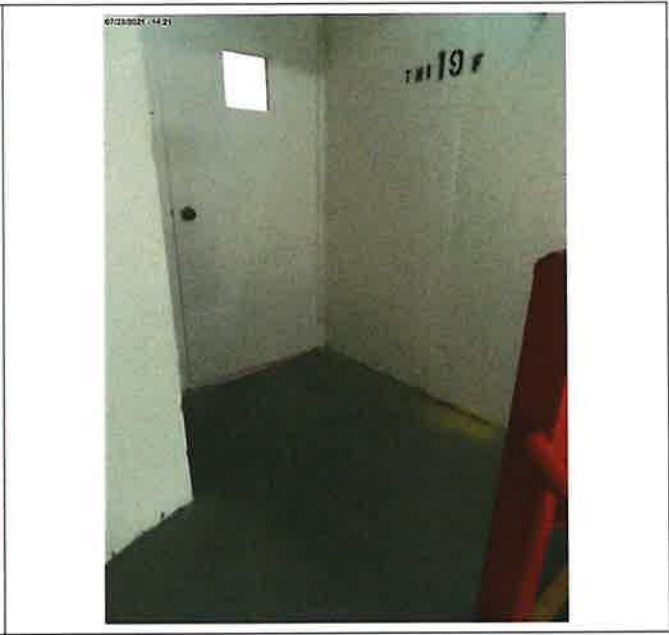


Photo # 130. Insufficient illumination for the building means of egress (Item #13.NORTH-b).

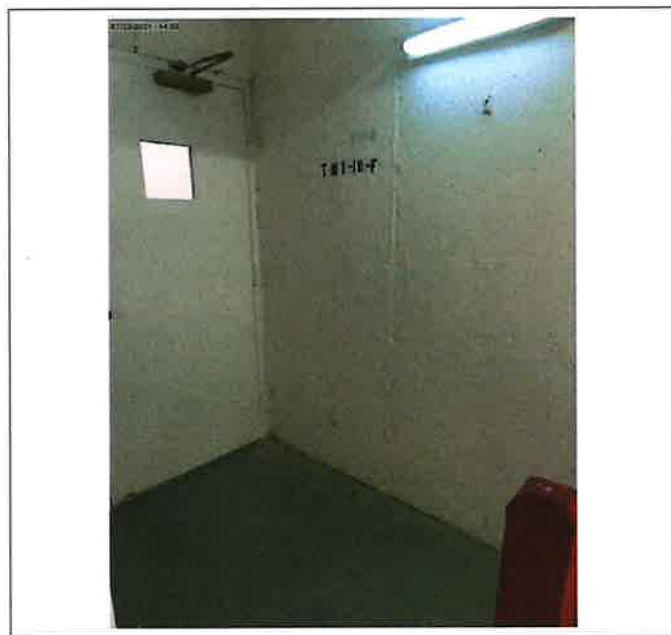


Photo # 131. Insufficient illumination for the building means of egress (Item #13.NORTH-c).



Photo # 132. Insufficient illumination for the building means of egress (Item #13.NORTH-d).





Photo # 133. Insufficient illumination for the building means of egress (Item #13.NORTH-e).



Photo # 134. Insufficient illumination for the building means of egress (Item #13.NORTH-f).



Photo # 135. Insufficient illumination for the building means of egress (Item #13.SOUTH-a).



Photo # 136. Insufficient illumination for the building means of egress (Item #13.SOUTH-b).





Photo # 137. Insufficient illumination for the building means of egress (Item #13.SOUTH-b).



Photo # 138. Insufficient illumination for the building means of egress (Item #13.SOUTH-c).



Photo # 139. Insufficient illumination for the building means of egress (Item #13.SOUTH-c).



Photo # 140. North building roof: Stairwell exit doors are missing exit sign (Item # 16.a)

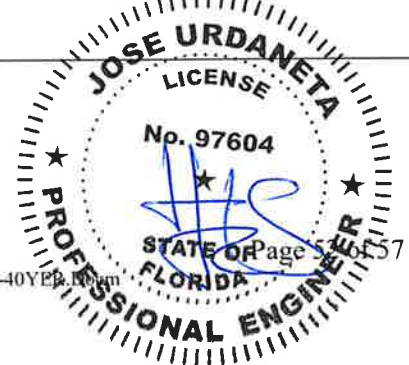




Photo # 141. North building roof: Stairwell exit doors are missing exit sign (Item # 16.a)



Photo # 142. North building roof: Stairwell exit doors are missing exit sign (Item # 16.a)



Photo # 143. North building roof: Stairwell exit doors are missing exit sign (Item # 16.a)



Photo # 144. South building roof: Stairwell exit doors are missing exit sign (Item # 16.b)





Photo # 145. South building roof: Stairwell exit doors are missing exit sign (Item # 16.b)



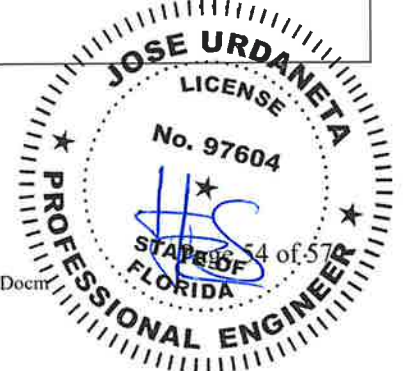
Photo # 146. South building roof: Stairwell exit doors are missing exit sign (Item # 16.b)



Photo # 147. South building roof: Stairwell exit doors are missing exit sign (Item # 16.b)

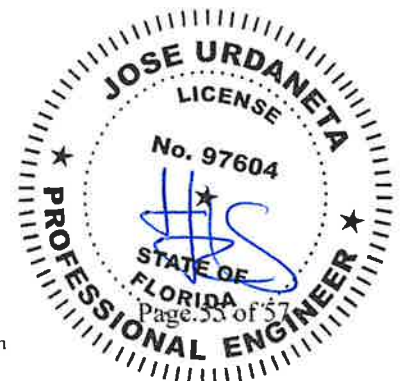


Photo # 148. Pool water heater not bonded. (Item # 20)



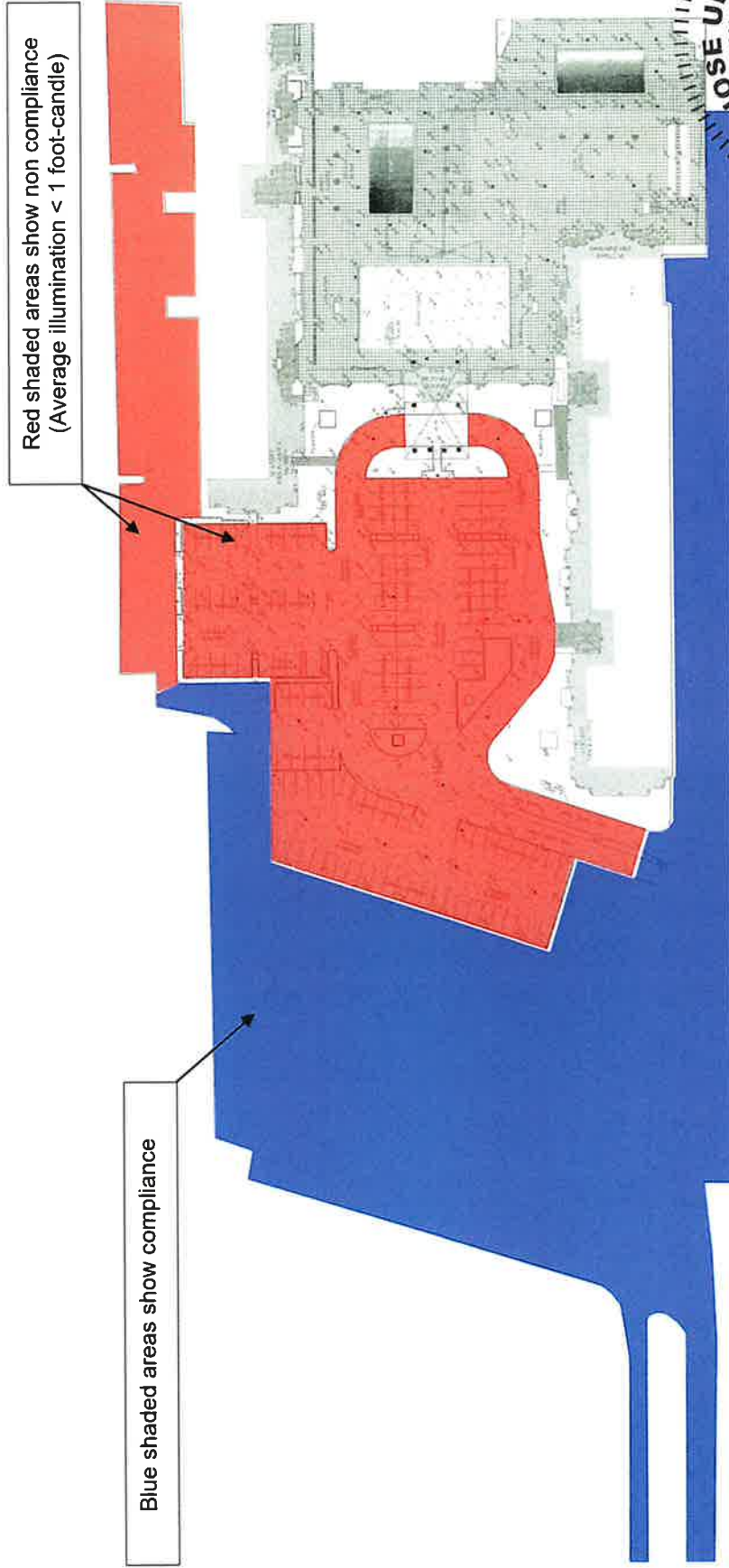
Annex "B"

Photometric Map

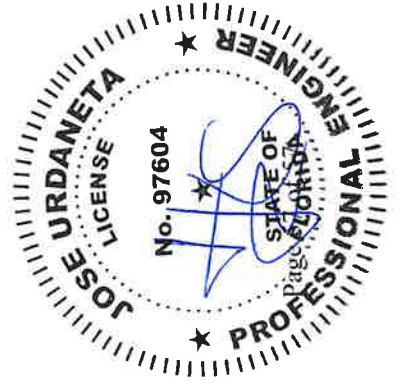
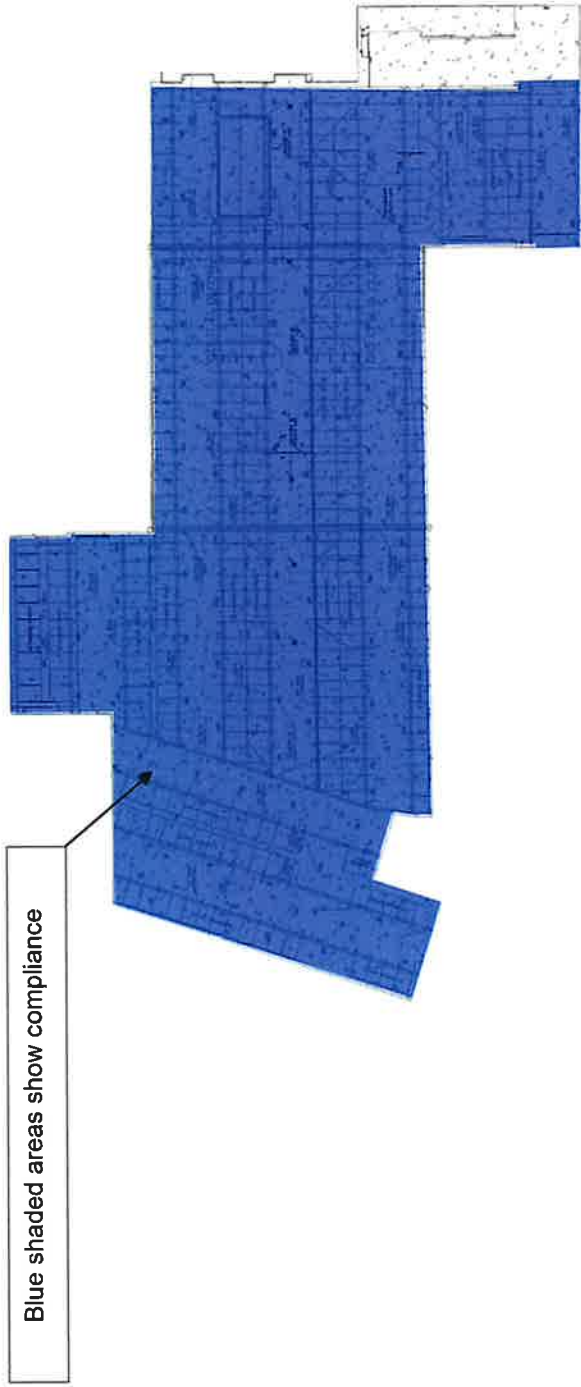


Site Plan View

(Includes upper-level garage deck)



Parking garage ground level





THE FALCON GROUP

**ENGINEERING|ARCHITECTURE | ENERGY
CONSULTING ENGINEERS**

PROJECT MANUAL & SPECIFICATIONS FOR PLAZA PRADO CONDOMINIUM ASSOCIATION 40-YEAR ELECTRICAL RECERTIFICATION REPAIRS.

Y:\Clients\Falcon2016\16-637\018_40-Year Electrical Repairs\Plaza del Prado Condo-40Y Electrical Repairs-Bidding manual.docx

PROJECT:	Plaza del Prado Condominium Association 40-Year Electrical Recertification Repairs
LOCATION:	18071 Biscayne Blvd Aventura, FL 33160
PROJECT MANAGER:	Jose Urdaneta – Senior Project Manager
PREPARED BY:	The Falcon Group Consulting Engineers 15405 NW 7th Avenue Miami, Florida 33169
DATE:	March 14, 2022

NOTE: THIS DOCUMENT SHALL NOT BE USED WITHOUT THE DIRECT KNOWLEDGE OF FALCON ENGINEERING AND SHALL NOT BE DUPLICATED OR USED FOR ANY PROJECT OTHER THAN THIS PROJECT AS TITLED ABOVE.



Table of Contents

00010	GENERAL OVERVIEW	3
00100	INSTRUCTION TO BIDDERS	4
00200	DOCUMENTS	4
00201	BID SUBMITTALS	4
00202	MANDATORY PRE-BID MEETING	6
00203	SUBSTITUTIONS	6
00204	REQUEST FOR INFORMATION AND INTENT TO BID	6
00205	CONTACTS	7
00206	TAXES, FEES AND PERMITS	7
00207	TIME OF COMPLETION / PENALTIES	8
00208	BIDDERS QUALIFICATIONS	8
00209	PAYMENT TO CONTRACTOR	8
00210	INSURANCE	9
00211	PROJECT SCHEDULE	9
00300	BID PROPOSAL FORM	12
00301	OUTLINE SCOPE OF WORK	13
00302	ATTACHMENTS	18
00302	CONTRACTOR'S QUALIFICATION STATEMENT	19

ATTACHEMENTS:

ANNEX A – 40Y ELECTRICAL RECERTIFICATION REPORT



00010 GENERAL OVERVIEW

PROJECT INFORMATION

Project Identification: Plaza del Prado Condominium Association - 40-Year Electrical Recertification Repairs.

Project Location: 18071 Biscayne Blvd Aventura, FL 33160

Owner: Plaza del Prado Condominium Association, Inc.

Owner's Representative: Mrs. Marjorie Davalos - General Manager, LCAM

Engineer: The Falcon Group

Engineer's Representative:
(Project Manager) Jose Urdaneta, Sr. Project Manager.

Project Description: The purpose of this document is to provide the scope of work and specifications for the necessary repairs of the electrical deficiencies identified in the 40-year electrical inspections completed on July 27, 2021.

The repairs of these deficiencies are required to obtain the 40-year electrical certification, as described in Section 8-11(f) of the Code of Miami-Dade County and conforming, with the minimum inspection procedural guidelines as issued by the Miami-Dade Board of Rules and Appeals. All repairs or modifications shall be completed in conformance with all applicable Sections of the Florida Existing Building Code 2020 Edition, and the National Electrical Code 2017 Edition.



00100 INSTRUCTION TO BIDDERS

- A. Bidders shall examine the Plaza del Prado Condominium facilities, the existing electrical equipment, and its conditions, as well as the proposed scope of work described in this document. Each bidder shall determine for him or herself all work conditions and requirements.
- B. Bidders shall submit required documentation in accordance with the requirements of this specification.

00200 DOCUMENTS

- A. Documents will be provided free of charge to approved bidders only via email in electronic format (PDF).

00201 BID SUBMITTALS

- A. All bidders shall send an electronic copy of the Bid Proposal Form via email to the address listed below. The Owner's representative will receive bids until the bid time and date at the location given below. Then Owner's Representative will consider only the bids prepared in compliance with these instructions, and delivered as follows:

Bid Date: Friday, April 1, 2022

Bid Time: 4:00 PM

email: **Mrs. Marjorie Davalos**, manager@plazadelprado.net

Copy to: **Jose Urdaneta**, jurdaneta@thefalcongroun.us

- B. The OWNER reserves the right to reject any and all bids, to waive any and all informalities not involving price, time or change in the work and to negotiate contract terms with the successful BIDDER, and the right to disregard all nonconforming, non-responsive, unbalanced, or conditional bids. The OWNER also reserves the right to reject the Bid if not responsive, or if the BIDDER is unqualified or of doubtful financial ability, or fails to meet any other pertinent standard or criteria established by the OWNER. Additionally, the OWNER reserves the right to break up the individual components of each submitted Bid. In



evaluating the bids, the OWNER will consider the qualifications of the BIDDERS, whether the Bids comply with the prescribed requirements, and such alternatives, unit prices and other data.

- C. Each Bid Proposal Form shall be complete. All requested information shall be completed in full. All units for pricing shall be in accordance with the Bid Proposal Form. The Owner will reject any bids not submitted on the Bid Proposal Form or bids submitted which have incomplete information on the Bid Proposal Form.
- D. The Specifications and all relevant attachments including addenda, drawings, instructions to bidders, and the Bidders submitted Bid Proposal Form shall become part of the Contract to be executed by the successful Bidder.
- E. The Bidder is responsible for all required material and labor quantities that are paid as part of a lump sum bid item. The Bidder shall obtain all material and labor estimates from his/her field investigation and measurements. The information provided to the bidder is not guaranteed to be complete or accurate. The bidder shall inform the Project Manager prior to the submission of bid of any conditions that may materially affect the specified scope of work and are not covered in the Specifications and/or applicable drawings.
- F. The Bidder shall be knowledgeable of current materials costs and availability. There shall be no adjustment to the submitted bid amounts due to variations in industry pricing, nor does any lack of information by a successful bidder entitle him/her to consideration for extra payment.
- G. No interpretation of the meaning of the Contract Schedule, Specifications, or other Contract Documents, made to any bidder orally, is binding in any way upon the Owner/Engineer. Every request for such interpretation shall be addressed to the Project Manager via email to be given consideration. Any and all such interpretations and any supplemental instruction will be in the form of written addenda to the Specifications, which, if issued, will be sent via email to all prospective bidders (at the respective email address furnished for such purposes), not later than five (5) calendar days prior to the date fixed for the bid due date. Failure of any bidder to receive any such addendum or interpretation shall not relieve the bidder from any obligation under the bid as submitted. All addenda so issued shall become part of the Contract Document. The Project Manager shall not be obligated to respond to questions.
- H. Bidders may direct all questions regarding the project to the Owner's Representative AND the Engineer's Representative to the email addresses shown on part 00205 CONTACTS.
- I. Each Bidder shall submit pricing for all items on the Bid Proposal Form. All prices shall include the cost of all materials, equipment, disposal, labor, taxes and permits, and any other costs related to, or arising out of the work. There shall be no additional cost to the Owner arising from taxes, fees or permits.
- J. Each Bidder shall furnish signatures and seals and fill in all the blanks as required.



- K. A Bidder who is not a resident of the State of Florida shall designate an agent in the State of Florida on whom service can be made in the event of litigation.
- L. Proposals submitted by corporations must be executed in the corporate name by the president or vice-president (or other duly authorized corporate officer) and accompanied by evidence of authority of the individual to sign, and the corporate seal shall be affixed and attested by the secretary or an assistant secretary. The corporate address and state of incorporation shall be shown. Proof of good standing may be required of the successful bidder.

00202 MANDATORY PRE-BID MEETING

- A. A Mandatory pre-bid meeting for all bidders will be held at the site on **Monday, March 21, 2022, at 10:00 AM.**
- B. Prospective bidders are required to attend. Bids submitted by non-attending bidders will not be considered. No make-up time will be granted to any bidders not attending the meeting.

00203 SUBSTITUTIONS

- A. All bids shall be based upon materials specified. No approval shall be granted to bidders for material substitutions prior to the bid due date. Substitutions shall be considered only after award of the Contract.
- B. Substitution of materials shall only be made by written Change Order authorized by the Owner and the Owner's designated representative (Engineer of Record).
- C. All materials will be new, unexpired, original, in original packaging, free of defects, stored properly in accordance with manufacturer's requirements. The Engineer has the right to request purchase orders in to review the condition of the material. The Engineer has the right to request material to be removed from the site and replaced if the material does not meet project requirements.

00204 REQUEST FOR INFORMATION AND INTENT TO BID

- A. All Contractors shall direct all questions or requests for information or clarifications in writing, by electronic mail to the Project Manager. All questions and/or requests for



information must contain contact information for the primary person to whom the response can be directed.

- B. All Questions and Bidders Intent to Bid must be submitted no later than **Wednesday, March 30, 2022 at 5PM** to the Project Manager Contact below.

00205 CONTACTS

Jose Urdaneta, Sr. P.M.
The Falcon Group
15405 NW 7th Avenue
Miami, FL 33169
Ph: (305)-910.4289
jurdaneta@thefalcongroun.us

Mrs. Marjorie Davalos, LCAM
18071 Biscayne Blvd
Aventura, FL 33160
Ph: (786)-629.6652
manager@plazadelprado.net

00206 TAXES, FEES AND PERMITS

- A. The Bidder shall pay all applicable taxes and fees, except those taxes, which apply to the real property comprising the site of the project.
- B. The Bidder shall be responsible for paying and obtaining any required Building Permits for the work. In addition, it shall be the Bidder's responsibility to arrange for inspection by and comply with the requirements of the local municipal authorities. The permit cost will be reimbursed by the Owner. The Owner will reimburse the Bidder only for the real cost for the permit (receipt issued by the Authority issuing the permit is required for reimbursement). The Owner will not reimburse the bidder for use of "permit runners", "permit expeditors", and similar, unless it was a direct request by the Owner.



00207 TIME OF COMPLETION / PENALTIES

- A. Successful bidder shall begin the Work within ten (10) workdays of receiving Notice to Proceed and issuance of work permit and shall complete the Work within the agreed upon Contract Time.

00208 BIDDERS QUALIFICATIONS

- A. Bidders must be properly licensed under the laws governing their respective trades and be able to obtain insurance and bonds required for the Work.
- B. Each bidder must submit a list of references of at least three (3) similar jobs completed in the past three (3) years. Bids submitted without the proper references will not be considered.
- C. Bidders must be licensed Electrical Contractors.

00209 PAYMENT TO CONTRACTOR

Subject to the terms and conditions of the Contract Documents, payments shall be made to the Contractor as follows:

- A. The Bidder shall be responsible for paying and obtaining any required Building Permits for the work. In addition, it shall be the Bidder's responsibility to arrange for inspection by and comply with the requirements of the local municipal authorities. Any permit fees will be reimbursed by the Owner to the Contractor at cost only. No expeditors or permit runner fees will be paid. Contractor shall provide proof of incurred expenses (receipt issued by the Authority issuing the permit is required for reimbursement).
- B. The Contractor shall provide the Engineer with a standard AIA Payment Request form and Lien Waiver. Template forms will be provided for contractor's use.
- C. Final payment will be release to the Contractor upon completion of the project in accordance with the construction documents and after permit closeout, final release of lien, and final inspections are approved by the Engineer of Record and City Officials.
- D. Payment to the Contractor by the Owner is not evidence of acceptance of non-conforming or defective work.
- E. Payment for Extra Work shall be made at a previously agreed upon amount, based upon the value of Extra Work performed.



- F. The Contractor will be responsible for all sales and use taxes on purchases for material incorporated or consumed in the performance of the work.

00210 INSURANCE

- A. The Contractor shall provide and maintain insurance as specified in the form and amounts specified in the contract for the duration of the project.
- B. Comprehensive General Liability, including Contractual Liability, as per minimum State requirements.
- C. Workmen's Compensation insurance in an amount no less than the full statutory minimum required by the laws of Florida.
- D. Failure to maintain required insurance coverage shall be considered a breach of the Contract.
- E. The following entities must be listed as additionally insured:
 - Owner – Plaza del Prado Condominium Association Inc.
 - Engineer – The Falcon Group.

00211 PROJECT SCHEDULE

- A. Contractor shall provide estimate time to complete each work task.

00212 GENERAL NOTES

- A. All the repair works described in this document shall be executed by a licensed Electrical Contractor.
- B. The contractor will need to submit a schedule for time to complete each work task for approval prior to beginning repairing work on the property. A revised schedule shall be submitted with every payment application. If a revised schedule has not been provided, the Project Manager has the right to deny payment application until such schedule is provided. The schedule will be provided in a format acceptable to the Project Manager (Gantt chart or similar approved).



- C. All unit price work or any other specified for the project are **INCLUSIVE** of general conditions, mobilization, demobilization, overhead, profit, labor, material and any other fees/costs necessary for completing the work. **No additional mobilization/demobilization will be allowed based on the increase of quantities.**
- D. In providing change orders for additions to the work for which unit prices are already part of the contract, Contractor shall honor those prices and will only be allowed for adjustment in quantity. Contractor acknowledges and agrees to continue working under these terms for any additional quantities (whether they were based on the allowances or lump sum portion of the contract) that are in excess of the quantities provided in the contract documents.
- E. All fields in the bid **MUST** be populated for the bid to be considered. The unit prices provided shall serve as the base for additions or deductions from the contract. The contractor agrees and acknowledges that in the event of additional work for which unit prices have been established those unit prices shall be used to calculate the cost of the additional work. All unit prices shall be inclusive of general conditions. No additional general conditions shall be allowed for any additional work. Contract will not be substantially completed until all the additional quantities/work is completed.
- F. The Contractor shall be responsible for any damage that occurs as a direct or indirect result of the repair process. The Contractor shall be responsible for taking all preventive steps necessary to avoid damage to the Buildings, components of the Buildings, surrounding grounds, utilities, vegetation, and any and all property of the occupants. If the Contractor believes that any of the methods of construction, materials, or equipment may cause direct or indirect damage to the Buildings, components of the Buildings, surrounding grounds, utilities, vegetation, and any and all property of the occupants, the Contractor shall bring such items to the attention of the Owner, in writing, at the time of bid submittal. If such items were not brought to the attention of the Owner, it will become Contractor's responsibility to repair all damaged items to the satisfaction of the Owner, at no cost to the Owner.
- G. Contractor shall obtain and submit photographic documentation of existing conditions prior to the start of work to Engineer and Owner (pre-construction survey).
- H. Inspections: All work outlined in these Specifications and related documents may be inspected by the Owner, its representatives and/or the Engineer at any time. If the Owner does or does not elect to inspect, this confers no rights on the part of the contractor and does not relieve the contractor from his responsibilities. The Contractor shall perform all work in accordance with these Specifications, and to the satisfaction of the Owner, the Owner's representative, and the Engineer including any work not included in these Specifications but required by the local and government authorities. The Contractor shall schedule all inspections required by local and government authorities and in accordance with required permits to obtain Certificates of Occupancy or Certificates of Completion issued by the local authorities. The Contractor shall notify the Owner of all such inspections and provide ample notification so that the Owner may be present for all inspections. The Contractor shall keep on the site a log with all inspections and will be responsible for ensuring that the Engineer,



or Inspector have access to it on the day of inspection. The contractor is responsible for requesting inspection with the engineer of record. All engineer inspections shall require a minimum 48-hour notification to the Engineer.

- I. If an inspection is requested and no work needs to be inspected, work has not been substantially complete for inspection, access is not provided, etc. then the contractor will be responsible for paying fines, fees, and costs, resulting from the necessity of reinspection, including fees incurred by the Owner's representative for reinspection, and consequential damages.
- J. The contractor must provide an on-site, English-speaking supervisor that is always present during working hours, and who is thoroughly trained in all aspects of the work.
- K. The contractor, once having started the work, shall continuously and expeditiously proceed with its vigorous prosecution until completion of the work.
- L. A copy of all required permits, licenses, certificates, and approval shall be delivered to the Project manager and a copy shall be posted in a prominent location at the work site prior to commencement of the work.
- M. All materials shall be installed in accordance with manufacturer written specifications and acceptable industry standards, and these specifications.
- N. All work shall be performed with experienced labor and first quality workmanship.
- O. All work shall conform to the 2020 Edition of the Florida Building Code, the 2017 Edition of the National Electrical Code, Industry Standards, Manufacturer's Specifications, these specifications, and State and Federal guidelines as applicable.



00300 BID PROPOSAL FORM

**PLAZA DEL PRADO CONDOMINIUM ASSOCIATION
40-YEAR ELECTRICAL RECERTIFICATION REPAIRS**

LEGAL NAME OF BIDDER: _____

ADDRESS: _____

TELEPHONE NUMBER: _____

DATE OF BID PREPARATION: _____

Having completely examined the Specifications, all attached and referenced documents, and the existing site conditions and quantities, the undersigned hereby agrees to provide all the labor and materials and all else necessary for the proper construction and completion of the work in accordance with the Specifications.

In submitting this Bid, the undersigned agrees and certifies:

- To enter and execute a Contract, if awarded on a basis of this Bid and to furnish all guarantees as required in the Contract Documents.
- To accomplish all work in accordance with the Contract Documents.
- To commence all work at the site within ten (10) calendar days of award of the Contract.
- To have all work complete in accordance with the Contract Documents within the allotted time.



00301 OUTLINE SCOPE OF WORK

All requested pricing shall include the general conditions, material, methods, etc. to complete the work in compliance with the National Electrical Code 2017 Edition. Contractor shall verify field conditions prior to submitting bid. There shall be no compensation for additional base bid work. The price indicated with each work item shall include all trades required to complete the work, no exceptions.

No. 1	NORTH BUILDING COMMON AREAS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
1.1	Provide and install identification labels to electrical panels, disconnect switches, and unit meter breakers, per as-built drawings. Pre-existing marking must be removed. Printed labels for indoors, engraved labels for outdoors. Label shall indicate (as applicable): Id, source (panel and circuit number), voltage, phases, number of wires. Main service DS must be labelled as "Main X of X", accordingly. Must be readable from 5 feet. OSHA 1910.145(f)(4)(ii).	Ea.	35		
1.2	Trace out existing circuits and provide typewritten circuit directory to panels, as required by NEC-408.4(A) and 408.38. Pre-existing marking must be removed.	Ea.	30		
1.3	Provide and install cover to circuit breaker enclosure for the meter bank at the North building, meter room Tower 1, level 3. (Refer to 40YER report, item 2)	Ea.	1		
1.4	Provide a permanent conductor connection, provide and install panel cover/trim to panel in Main electrical room. (Refer to 40YER report, item 4.1)	LS.	1		
1.5	Relocate panel inside main electrical room so as to provide working space clearance. (Refer to 40YER report, item 4.2)	LS.	1		
1.6	Provide alternate price for relocation of transformer installed in front of panel, so as to provide working space clearance to the panel. (Refer to previous item)	LS.	1		
1.7	Provide and Install dead front to panel, located in East wall – Main electrical room. (Refer to 40YER report, item 4.3)	L.S.	1		
1.8	Install protective cover to panel located at tower 2, ground level electrical room, and to motor control center located at roof cooling tower mechanical room. (Refer to 40YER report, items 4.13 & 4.29)	LS.	1		
1.9	Provide new GFCI 120VAC, 20AMP receptacle and replace the existing ones in laundry room (All levels, all towers). (Refer to 40YER report, item 10.b)	Ea.	160		
1.10	Provide and replace existing light fixtures at the selected locations of the stairwells. Provide at least one light fixture model as an alternative to the existing ones. (Refer to 40YER report, item 13)	Ea.	6		
1.11	Provide and install weather-proof type exit sign 120-277VAC for the exit door at the roof level, fed from the existing emergency circuit (Refer to 40YER report, item 16)	Ea.	4		
TOTAL No. 1 NORTH BUILDING COMMON AREAS - ELECTRICAL REPAIRS:					



No. 2	NORTH BUILDING MISCELLANEOUS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
2.1	Provide and install proper screws in Circuit breaker enclosures for the meter bank of tower 3, level 9, and for meter bank of tower 4, level 12. (Refer to 40YER report, item 2)	LS.	1		
2.2	Provide and install gutter cover in meter room, tower 1, level 3, and for the outside air unit 3N. (Refer to 40YER report, item 3)	Ea.	2		
2.3	Provide and replace 1-gang duplex metal wall plate to combo switch-receptacle in storage room, penthouse level, tower 3. (Refer to 40YER report, item 10)	Ea.	1		
2.4	Provide and replace combo switch-receptacle 120VAC, 15AMP in meter room level 16, tower 2. (Refer to 40YER report, item 10)	Ea.	1		
2.5	Provide and install GFCI 120VAC 15AMP receptacle for the drinking water fountain at lobby level. (Refer to 40YER report, item 10)	Ea.	1		
2.6	Provide and install metallic blank cover to junction boxes on roof, boiler room, and elevator machine room N2. (Refer to 40YER report, item 10)	Ea.	5		
2.7	Provide and install circuit breaker filler plate on opening for the circuit spaces in panels. (Refer to 40Y Report for location details, items 2 and 4)	Ea.	14		
2.8	Provide and install a #8 AWG or larger solid copper conductor to water heater bonding connection. (Refer to 40YER report, item 20)	LS.	1		
TOTAL No. 2 NORTH BUILDING MISCELLANEOUS - ELECTRICAL REPAIRS:					



No. 3	SOUTH BUILDING COMMON AREAS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
3.1	Provide and install identification labels to electrical panels, disconnect switches, and unit meter breakers, per as-built drawings. Pre-existing marking must be removed/cleaned. Printed labels for indoors, engraved labels for outdoors. Label shall indicate (as applicable): Id, source (panel and circuit number), voltage, phases, number of wires. Main service DS must be labelled as "Main X of X", accordingly. Must be readable from 5 feet. OSHA 1910.145(f)(4)(ii).	Ea.	31		
3.2	Trace out existing circuits and provide typewritten circuit directory to panels, as required by NEC-408.4(A) and 408.38. Refer to 40Y Report for location details.	Ea.	28		
3.3	Provide and install metallic cover to junction box, and to contactor enclosure at the roof AC room, and at the cooling tower mechanical room. (Refer to 40YER report, item 10)	Ea.	2		
3.4	Replace existing light fixtures selected locations of stairwell (Select fixture) (Refer to 40YER report, item 13)	Ea.	5		
3.5	Provide and install weather-proof type exit sign 120-277VAC for the exit door at the roof level, fed from the existing emergency circuit. (Refer to 40YER report, item 16)	Ea.	4		
3.6	Replace cover to panel in laundry room, Tower 4, level 4, and in laundry room, tower 1, level 4. Clean out internal parts of the panel from dust and lint (Refer to 40YER report, items 4.52 & 4.59)	Ea.	2		
3.7	Relocate Panel inside Main electrical room, so as to provide working space clearance. (Refer to 40YER report, item 4.37)	LS.	1		
3.8	Provide alternate price for relocation of transformer installed in front of panel, so as to provide working space clearance. (Refer to 40YER report, item 4.37)	LS.	1		
3.9	Provide new GFCI 120VAC, 20AMP receptacle and replace the existing. (Refer to 40Y Report, item 10.b)	Ea.	160		
TOTAL No. 3 SOUTH BUILDING COMMON AREAS - ELECTRICAL REPAIRS:					



No. 4	SOUTH BUILDING MISCELLANEOUS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
4.1	Provide connector, straps, and repair the metal flex conduit connection to the junction box at the 100% OAHU room. (Refer to 40YER report, item 10.c)	LS.	1		
4.2	Provide and Install, 2-gang mud ring and 2-gang plate cover to switch box. (Refer to 40YER report, item 10.d)	LS.	1		
4.3	Repair Receptacle-switch cover plate. (Refer to 40YER report, item 10.e)	LS.	1		
4.4	Mark phase conductors with Brown-Orange-Yellow colored electrical tape inside of disconnect switch in main switchgear room. (Refer to 40YER report, item 10.f)	LS.	1		
4.5	Provide and install Panel Cover/Trim to motor control center, located at the cooling tower mechanical room. (Refer to 40YER report, item 10.i)	LS.	1		
4.6	Provide and install filler plate on opening circuit spaces in Panels. Refer to 40Y Report for location details. (Refer to 40YER report, item 2 and 4)	Ea.	18		
4.7	Provide and install front cover to panel locate at Tower 3, ground level (Refer to 40YER report, item 4.66)	LS.	1		
TOTAL No. 4 SOUTH BUILDING MISCELLANEOUS - ELECTRICAL REPAIRS:					



No. 5	RESIDENTIAL UNITS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
5.1	The following quantities are estimates based on inspection of a sample of (32) units. Electrical Contractor shall inspect every unit (682 total) to identify the ones requiring the following repairs. (Refer to 40YER report)				
5.2	Trace out existing circuits and provide typewritten circuit directory to residential electrical panel, as required by NEC-408.4(A).	Ea.	299		
5.3	Provide and install battery operated (battery-sealed) smoke alarm inside unit's bedrooms.	Ea.	640		
5.4	Provide and install battery operated (battery-sealed) smoke alarm outside unit's bedrooms.	Ea.	107		
5.5	Provide new tamper resistant dual function AFCI/GFCI receptacle, and replace the non GFCI protected ones serving the kitchen countertops.	Ea.	555		
5.6	Provide new tamper resistant GFCI receptacle and replace the non GFCI protected ones serving the bathrooms.	Ea.	597		
5.7	Provide new tamper resistant GFCI receptacle with an "in-use" type weather proof enclosure, and replace the non GFCI protected ones in the balcony.	Ea.	171		
5.8	Remove existing panel, provide and install a new 125 Amp 240V 1Φ 3W panel in same location in a flip installation.	LS.	299		
5.9	Provide alternate price for relocation of existing panel up to 10 ft of original location. Includes new 125Amp, 240V, 1Φ,3w panel and installation of a new 12"x20"x4" splice box, flush mounted with metal cover.	Ea.	1		
5.10	Provide alternate price for relocation of existing panel from 10 ft up to 20 ft of original location. Includes new 125Amp, 240V, 1Φ,3w panel and installation of a new 12"x20"x4" splice box, flush mounted with metal cover.	Ea.	1		
5.11	Provide and install filler plate to seal opening in Circuit spaces	Ea.	107		
TOTAL No. 5 RESIDENTIAL UNITS - ELECTRICAL REPAIRS:					



00302 ATTACHMENTS

ATTACHED TO THIS BID FORM ARE THE FOLLOWING DOCUMENTS:

1. BIDDERS QUALIFICATION STATEMENT

The Contractor, in this Agreement, accepts full responsibility for the Bid Amount, including all estimates of quantities for materials; estimates for refuse removal, costs for materials, labor and all else necessary for the successful completion of the project.

SIGNATURES:

Legal name of Contracting Firm, Partnership, or Corporation

Signed

Date

Name and Title



The Falcon Group

ENGINEERING • ARCHITECTURE • ENERGY CONSULTANTS • FORENSICS • DRONE SERVICES

MIAMI
Phone: (305) 663-1970

MIAMI / WEST PALM BEACH
7430 SW 48th Street, Miami, FL 33155
Email: info@thefalcongroup.us
www.thefalcongroup.us

WEST PALM BEACH
Phone: (561) 290-0504

September 1, 2021

Plaza Del Prado Condominium Association
c/o Ms. Marjorie Davalos
18071 Biscayne Blvd,
Aventura FL, 33160

VIA REGULAR MAIL

RE: Folio no.: 28-2210-014-0001, Plaza del Prado Condominium
18011-18041 Biscayne Blvd South Tower I, II, III, IV
18051-18081 Biscayne Blvd North Tower I, II, III, IV
18071 Biscayne Blvd Aventura FL. 33160 - Notice of Required Recertification 40 Year Building
Y:\Clients\Falcon2016\16-637\013_40 Year Recertification\Electrical\Report\L210901- 40 Year Electrical Recertification Cover Letter.Docx

Dear Ms. Davalos:

As per your request, The Falcon Group conducted a 40-Year Electrical Recertification Inspection of the referenced building in accordance with the city of Aventura 40-Year Recertification Program and Section 8-11(f) of the Miami Dade County Florida Building Code - Code of Ordinances. Please refer to the attached 40/50 Year Certification Report for your building, and the associated parking illumination letter. In summary, the Electrical Recertification is not approved as electrical repairs are necessary to meet current standards of safety. Please notice that, we have not identified any condition that represents an imminent danger to the occupants of the building.

Please also note, this report is based upon sampling and is not intended to be an all-inclusive, exhaustive list of each location of repair, scope of work or otherwise. It is recommended the Client retain the services of an engineering firm to prepare project scope and specifications that will include proper detailing, materials, bidding forms and project requirements.



Offices also located in:

Stamford, CT | Columbia, MD | Rockville, MD
Bridgewater, NJ | New York, NY | Easton, PA | Trevese, PA

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the electrical infrastructure. To the best of our knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon evaluation of observed conditions.

We would like to thank you for the opportunity to provide this report. Should you have any questions, please feel free to contact our office.



Very truly yours,
Reza Koosha-Mirsaidi
Attachment: Three originals of the Building Safety Inspection Report (Electrical)
Illumination Letter



**BUILDING DIVISION
OF AVENTURA**

**MINIMUM INSPECTION PROCEDURAL GUIDELINES
FOR BUILDINGS ELECTRICAL RECERTIFICATION**

INSPECTION COMMENCED

Date: 07/22/2021

INSPECTION MADE BY: Reza Koosha-Mirsaidi

SIGNATURE:

INSPECTION COMPLETED

Date: 07/27/2021

PRINT NAME: REZA KOOSHA-MIRSAIDI

TITLE: Sr. Electrical Engineer at The Falcon Group

ADDRESS: 15405 NW 7th Ave.
Miami, FL 33169

DESCRIPTION OF STRUCTURE	
a. Name on title:	Del Prado Condo
b. Street address:	18021 Biscayne Blvd Aventura Florida 33160
c. Legal description:	2 PORS OF NW4 TWP 52-42-10 PLAT BOOK/PAGE 7074/444
d. Owner's name:	Plaza del Prado Condominium Association Inc.
e. Owner's mailing address:	18021 Biscayne Blvd Aventura Florida 33160
f. Folio number of the property on which building is located:	28-2210-014-0001
g. Building code occupancy classification:	R-2 (Apartments)
h. Present use:	Apartment Building / Retail Spaces
i. General description, type of construction, size, number of stories and special features	Additional comments: Property is comprised of two (2), twenty (20) story residential building with a total of (682) apartment units, approximately 36,000 Sf each building, with a combined detached private driveway and garage, and on-site parking at the North, South and Westside of the property.
<p>Deficiencies noted in this report are assumed to be common and may be present in other similar circumstances. A qualified Electrical Contractor shall use this report as a guide to investigate, and identify similar deficiencies which may be present throughout the building, including all residences, and rectify them under proper permits. The Electrical Contractor shall bring deficiencies to the attention of the Engineer of Record, and the owner's representative.</p>	

MINIMUM GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEARS STRUCTURES

1. ELECTRIC SERVICE

Main Service North Building, Tower I (For apartment units)

- 1. Size: Amperage (2000) Fuses (X) Breakers ()
 - 2. Phase: Three-phase (X) Single phase ()
 - 3. Condition: Good () Fair (X) Needs repair ()
- Comments: Located inside the electrical room at level 1 of the North building tower I.

Main Service North Building, Tower II (For apartment units)

- 1. Size: Amperage (2000) Fuses (X) Breakers ()
 - 2. Phase: Three-phase (X) Single phase ()
 - 3. Condition: Good () Fair (X) Needs repair ()
- Comments: Located inside the electrical room at ground level of North building tower II.

Main Service North Building, Tower III (For apartment units)

- 1. Size: Amperage (2000) Fuses (X) Breakers ()
 - 2. Phase: Three-phase (X) Single phase ()
 - 3. Condition: Good () Fair (X) Needs repair ()
- Comments: Located inside the electrical room at ground level of North building tower III.

Main Service North Building, Tower IV (For apartment units)

- 1. Size: Amperage (2500) Fuses (X) Breakers ()
 - 2. Phase: Three-phase (X) Single phase ()
 - 3. Condition: Good () Fair (X) Needs repair ()
- Comments: Located inside the electrical room at ground level of North building tower IV.

Main Service South Building, Tower I (For apartment units)

- 1. Size: Amperage (2000) Fuses (X) Breakers ()
 - 2. Phase: Three-phase (X) Single phase ()
 - 3. Condition: Good () Fair (X) Needs repair ()
- Comments: Located inside the electrical room at level 1 of the South building tower I.

Main Service South Building, Tower II (For apartment units)

- 1. Size: Amperage (2000) Fuses (X) Breakers ()
 - 2. Phase: Three-phase (X) Single phase ()
 - 3. Condition: Good () Fair (X) Needs repair ()
- Comments: Located inside the electrical room at ground level of South building tower II.

Main Service South Building, Tower III (For apartment units)

- 1. Size: Amperage (2000) Fuses (X) Breakers ()
 - 2. Phase: Three-phase (X) Single phase ()
 - 3. Condition: Good () Fair (X) Needs repair ()
- Comments: Located inside the electrical room at ground level of South building tower III.



Main Service South Building, Tower IV (For apartment units)

- 1. Size: Amperage (2000) Fuses (X) Breakers ()
- 2. Phase: Three-phase (X) Single phase ()
- 3. Condition: Good () Fair (X) Needs repair ()

Comments: Located inside the electrical room at ground level of South building tower IV.

Main Service (No ID)

- 1. Size: Amperage (Unkwn) Fuses (X) Breakers ()
- 2. Phase: Three-phase (X) Single phase ()
- 3. Condition: Good () Fair () Needs repair (X)

Comments: Located inside the main switchgear room (South wall) at ground level of North building. 480v 3Φ. All main services disconnect switches must be identified as "Main X of X" and indicate what panel or load they serve. Other mains in this electrical room could not be identified. All enclosures have been painted without preserving the identification and the rating of the enclosed equipment; nameplates have been removed. There is no tag or label or nameplate of any kind that allows for proper identification. (Annex "A", Photo # 1)

Main Service (No ID)

- 4. Size: Amperage (600) Fuses () Breakers (X)
- 5. Phase: Three-phase (X) Single phase ()
- 6. Condition: Good () Fair () Needs repair (X)

Comments: Located inside the main switchgear room (North wall) at ground level of South building. 480v 3Φ. Must be identified as "Main X of X" and indicate what panel or load it serves. (Annex "A", Photo # 2)

Main Service (No ID)

- 1. Size: Amperage (600) Fuses () Breakers (X)
- 2. Phase: Three-phase (X) Single phase ()
- 3. Condition: Good () Fair () Needs repair (X)

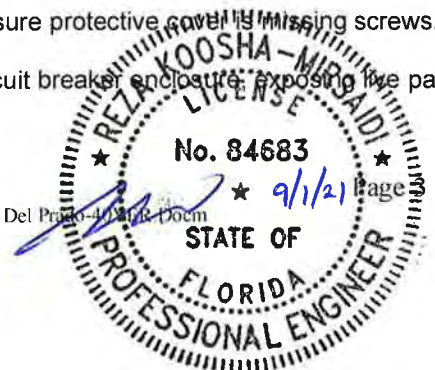
Comments: Located inside the main switchgear room (South wall) at ground level of South building. 480v 3Φ. Must be identified as "Main X of X" and indicate what panel or load it serves. Other mains in this electrical room could not be identified. All enclosures have been painted without preserving the identification and the rating of the enclosed equipment; nameplates have been removed. There is no tag or label or nameplate of any kind that allows for proper identification. (Annex "A", Photo # 3)

2. METER AND ELECTRIC ROOM

- 1. Clearances: Good () Fair () Requires correction (X)

Comments: Repairs are required:

- North building and South building have four (4) stacks of meter rooms each. Meters rooms are located on floors 19, 16, 12, 9, 6, 3 on each tower of each building.
- Meter rooms were found used as storage. All electrical room must be kept free from foreign objects and not be used for general storage purposes. (Annex "A", Photo # 4)
- Main circuit breakers for the meter cans were found missing proper identification of the unit number the meter serves. (Annex "A", Photo # 5)
- Meter bank at North building, Tower 1, level 3: missing cover to circuit breaker enclosure, exposing live parts. (Annex "A", Photo # 6)
- Meter bank at North building, Tower 3, level 19: opening in a meter can, exposing live parts. (Annex "A", Photo # 7)
- Meter bank at North building, Tower 3, level 9: Circuit breaker enclosure protective cover is missing screws, hence not secured in place. (Annex "A", Photo # 7)
- Meter bank at North building, Tower 4, level 12: missing cover to circuit breaker enclosure, exposing live parts. (Annex "A", Photo # 8)



- Meter bank at South building, Tower 4, level 19: missing cover to circuit breaker enclosure, exposing live parts. (Annex "A", Photo # 9)
- Meter bank at South building, tower 3, level 12: missing cover to circuit breaker enclosure, exposing live parts. (Annex "A", Photo # 11)

3. GUTTERS

Location: North building, tower I, meter room, level 3. Good () Requires repair (X)

Taps and fill: Good (X) Requires repair ()

Comments:

- North building, tower 1, meter room level 3: gutter missing cover. (Annex "A" Photo # 12)
- North building, outside air unit 3N: gutter missing cover. (Annex "A" Photo # 13)

4. ELECTRICAL PANELS

NORTH BUILDING

1. Panel #: No label Size: No ratings Phases: 3 Type: Panelboard MLO
 Location: North wall – Main electrical room Good () Needs repair (X)
 Comments: Panel requires repairs: (Annex "A", Photo # 14)

- Missing identification (label).
- Panel is missing cover shield, exposing live parts.
- Panel must be reverted to its original permanent condition.

2. Panel #: No label Size: 100 AMP Phases: 3 Type: Panelboard MLO
 Location: North wall – Main electrical room Good () Needs repair (X)
 Comments: Panel requires repairs: (Annex "A", Photo # 15)

- Missing identification (label).
- Missing circuit directory.
- Working space clearance violation. (Annex "A", Photo # 16)

3. Pane #: No label Size: 150 AMP Phases: 3 Type: Panelboard MCB-150
 Location: North wall – Main electrical room Good () Needs repair (X)
 Comments: Panel requires repairs: (Annex "A", Photo # 17)

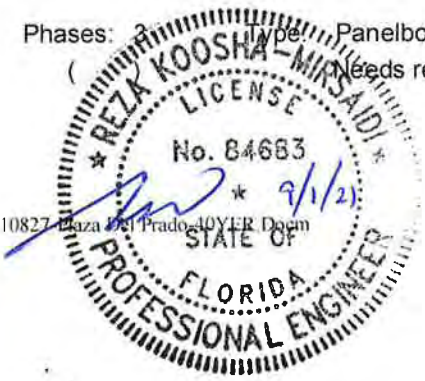
- Missing identification (label).
- Missing circuit directory.
- Missing cover shield.

4. Panel #: No label Size: 100 AMP Phases: 3 Type: Panelboard MCB-100
 Location: North wall – Main electrical room Good () Needs repair (X)
 Comments: Panel requires repairs: (Annex "A", Photo # 18).

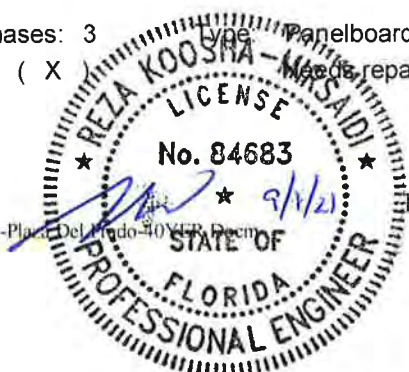
- Missing identification (label).
- Missing circuit directory.
- Opening in circuit spaces.

5. Panel #: No label Size: No ratings Phases: 3 Type: Panelboard MLO
 Location: East wall – Main electrical room Good () Needs repair (X)
 Comments: Panel requires repairs: (Annex "A", Photo # 19).

- Missing identification (label).
- Missing circuit directory.



6. Panel #: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: East wall – Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 20).
a. Missing identification (label).
b. Missing circuit directory.
7. Panel #: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: East wall – Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 21)
a. Missing identification (label).
b. Missing circuit directory.
8. Panel #: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: South wall–Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 22).
a. Missing identification (label).
b. Missing circuit directory.
9. Panel #: No label Size: No ratings Phases: 3 Type: Switchgear
Location: South wall–Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 23)
a. Missing identification (label).
b. Missing circuit directory.
10. Panel#: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: East wall – Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 24)
a. Missing identification (label).
b. Missing circuit directory.
11. Panel#: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: Roof CT Mechanical Room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 25)
a. Missing identification (label).
b. Missing circuit directory.
12. Panel#: No label Size: 200 AMPS Phases: 3 Type: Panelboard MLO
Location: Roof CT Mechanical Room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 26)
a. Missing identification (label).
b. Missing circuit directory.
13. Panel#: Motor C.C. Size: 600 AMPS Phases: 3 Type: Panelboard MLO
Location: Roof CT Mechanical Room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", 2727, 28)
a. Missing identification (label).
b. Missing circuit directory.
c. Openings in enclosure exposing live parts.
14. Panel#: Fan Size: 200 AMPS Phases: 3 Type: Panelboard MCB-200
Location: Roof CT Mechanical Room Good (X) Needs repair ()
Comments: None.



15. Panel#:	Sub panel 1	Size:	125 AMPS	Phases:	3	Type:	Panelboard MCB-100
Location:	Roof CT Mechanical Room		Good	(	)	Needs repair	(X)
Comments:	Panel requires repairs: (Annex "A", Photo # 29)						
	a. Opening in circuit space.						
16. Panel#:	Sub panel 2	Size:	100 AMPS	Phases:	3	Type:	Panelboard MLO
Location:	Roof CT Mechanical Room		Good	(	)	Needs repair	(X)
Comments:	Panel requires repairs: (Annex "A", Photo # 30)						
	a. Missing circuit directory.						
17. Panel#:	No label	Size:	225 AMPS	Phases:	3	Type:	Panelboard MLO
Location:	Tower 1 Laundry room level 14		Good	(	)	Needs repair	(X)
Comments:	Panel requires repairs: (Annex "A", Photo # 31)						
	a. Missing identification (label).						
18. Panel#:	No label	Size:	225 AMPS	Phases:	3	Type:	Panelboard MLO
Location:	Tower 1 Laundry room level 4		Good	(	)	Needs repair	(X)
Comments:	Panel requires repairs: (Annex "A", Photo # 32)						
	a. Missing identification (label).						
19. Panel#:	No label	Size:	225 AMPS	Phases:	3	Type:	Panelboard MLO
Location:	Tower 2 Laundry room level 14		Good	(	)	Needs repair	(X)
Comments:	Panel requires repairs: (Annex "A", Photo # 33)						
	a. Missing identification (label).						
	b. Missing circuit directory.						
20. Panel#:	No label	Size:	225 AMPS	Phases:	3	Type:	Panelboard MLO
Location:	Tower 2 Laundry room level 4		Good	(	)	Needs repair	(X)
Comments:	Panel requires repairs: (Annex "A", Photo # 34)						
	a. Missing identification (label).						
21. Panel#:	No label	Size:	225 AMPS	Phases:	3	Type:	Panelboard MLO
Location:	Tower 3 Laundry room level 14		Good	(	)	Needs repair	(X)
Comments:	Panel requires repairs: (Annex "A", Photo # 35)						
	a. Missing identification (label).						
	b. Missing circuit directory.						
22. Panel#:	No label	Size:	225 AMPS	Phases:	3	Type:	Panelboard MLO
Location:	Tower 3 Laundry room level 4		Good	(	)	Needs repair	(X)
Comments:	Panel requires repairs: (Annex "A", Photo # 36)						
	a. Missing identification (label).						
	b. Missing circuit directory.						
23. Panel#:	No label	Size:	225 AMPS	Phases:	3	Type:	Panelboard MLO
Location:	Tower 4 Laundry room level 14		Good	(	)	Needs repair	(X)
Comments:	Panel requires repairs: (Annex "A", Photo # 37)						
	a. Missing identification (label).						
	b. Missing circuit directory.						
24. Panel#:	No label	Size:	225 AMPS	Phases:	3	Type:	Panelboard MLO
Location:	Tower 4 Laundry room level 4		Good	(	)	Needs repair	(X)
Comments:	Panel requires repairs: (Annex "A", Photo # 38)						
	a. Missing identification (label).						



b. Missing circuit directory

25. Panel#: No label Size: 225 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 2, lobby level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 39)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit spaces

26. Panel#: No label Size: 225 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 2, lobby level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 40)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit spaces.

27. Panel#: No label Size: 125 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 41)
a. Missing identification (label).
b. Missing circuit directory.

28. Panel#: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 42)
a. Missing identification (label).
b. Missing circuit directory.

29. Panel#: No label Size: 225 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 43)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit spaces.
d. Detached protective cover.

30. Panel#: No label Size: 200 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 44)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit spaces.

31. Panel#: No label Size: 150 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 3, lobby level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 45)
a. Missing identification (label).
b. Missing circuit directory.

32. Panel#: No label Size: 200 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 46)
a. Missing identification (label).
b. Missing circuit directory.



33. Panel#: No label Size: 100 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 47)
a. Missing identification (label).
b. Missing circuit directory
c. Opening in circuit spaces.

34. Panel#: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 48)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit spaces.

35. Panel#: No label Size: 100 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 49)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit spaces.

36. Panel#: No label Size: 150 AMPS Phases: 3 Type: Panelboard MLO
Location: Tower 4, lobby level ER Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 50)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit spaces.

SOUTH BUILDING

37. Panel#: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: North wall – Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 51 & Photo # 52)
a. Missing identification (label).
b. Missing circuit directory.
c. Missing cover plate in circuit space.
d. Working space clearance violation.

38. Panel#: No label Size: 125 AMP Phases: 3 Type: Panelboard MLO
Location: East wall–Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 53)
a. Missing identification (label).
b. Missing circuit directory.

39. Panel#: No label Size: 800 AMP Phases: 3 Type: Panelboard MLO
Location: South wall–Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 54)
a. Missing identification (label).
b. Missing circuit directory.



40. Panel#: No label Size: 200 AMP Phases: 3 Type: Panelboard MLO
Location: South wall–Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 55)
a. Missing identification (label)
a. Missing circuit directory.

41. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: West wall–Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 56)
a. Missing identification (label).
b. Missing circuit directory.
c. Missing cover plate in circuit spaces.

42. Panel#: No label Size: 800 AMP Phases: 3 Type: Panelboard MLO
Location: West wall–Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 57)
a. Missing identification (label).
b. Missing circuit directory.

43. Panel#: No label Size: 800 AMP Phases: 3 Type: Panelboard MLO
Location: West wall–Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 58)
a. Missing identification (label).
b. Missing circuit directory.

44. Panel#: No label Size: 100 AMP Phases: 3 Type: Panelboard MLO
Location: West wall–Main electrical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 59)
a. Missing identification (label).
a. Missing circuit directory.

45. Panel#: DP2 Size: 200 AMP Phases: 3 Type: Panelboard MLO
Location: Roof CT mechanical room Good (X) Needs repair ()
Comments: None.

46. Panel#: No label Size: 125 AMP Phases: 3 Type: Panelboard MLO
Location: Roof CT mechanical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 60)
a. Missing identification label.
b. Missing proper circuit directory.

47. Panel#: AC Size: 125 AMP Phases: 3 Type: Panelboard MCB-100
Location: Roof CT mechanical room Good (X) Needs repair ()
Comments: None.

48. Panel#: Exhaust Fan Size: 125 AMP Phases: 3 Type: Panelboard MLO
Location: Roof CT mechanical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 61)
a. Missing circuit directory.
b. Opening in circuit space.



49. Panel#: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: Roof CT mechanical room Good () Needs repair (X)
Comments: panel requires repairs. (Annex "A", Photo # 62)
a. Missing identification label.
b. Missing circuit directory.
c. Opening in circuit space.

50. Panel#: No label Size: No ratings Phases: 3 Type: Panelboard MLO
Location: Roof CT mechanical room Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 63)
a. Missing identification label.
b. Missing circuit directory.
c. Opening in circuit space.

51. Panel#: No label Size: 600 AMP Phases: 3 Type: Panelboard MLO
Location: Roof CT mechanical room Good () Needs repair (X)
Comments: This is a combo panel/motor control center It requires repairs: (Annex "A", Photo # 64)
a. Missing identification (label).
b. Missing circuit identification.

52. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 1 Laundry room level 14 Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 65, Photo # 66, Photo # 67)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening exposing live parts.

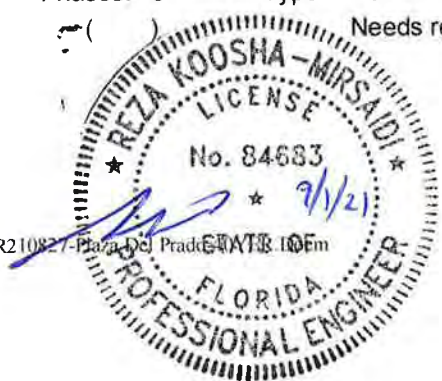
53. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 1 Laundry room level 4 Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 68)
a. Missing identification (label).
b. Missing circuit directory.

54. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 2 Laundry room level 14 Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 69)
a. Missing identification (label).

55. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 2 Laundry room level 4 Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 70)
a. Missing identification (label).
b. Missing circuit directory.

56. Panel#: L6 Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3 Laundry room level 14 Good (X) Needs repair ()
Comments: None.

57. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3 Laundry room level 4 Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 71)
a. Missing identification (label).
b. Missing circuit directory.



58. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 4 Laundry room level 14 Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 72)
a. Missing identification (label).
b. Missing circuit directory.

59. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 4 Laundry room level 4 Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 73, Photo # 74, Photo # 75 & Photo # 76)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit space.
d. Protective cover not properly secured in place.
e. Water intrusion evidence.
f. Panel interior parts must be cleaned out from dust and lint.

60. Panel#: No label Size: 100 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 2, lobby level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 77)
a. Missing identification (label).

61. Panel#: No label Size: 70 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 78)
a. Missing identification (label).
b. Missing circuit directory.

62. Panel#: No label Size: 60 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 79)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit space.

63. Panel#: H2C Size: No ratings Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 80)
a. Missing circuit directory.
b. Opening in circuit space.

64. Panel#: No label Size: 200 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 2, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 81)
a. Missing identification (label).
b. Missing circuit directory.
c. Opening in circuit space.

65. Panel#: E1A Size: 100 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 82)
a. Missing circuit directory.
b. Opening in circuit space.



66. Panel#: No label Size: 225 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 83)
a. Missing identification (label).
b. Missing circuit directory.
c. Missing protective cover.
67. Panel#: H1A Size: 125 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 84)
a. Missing circuit directory.
b. Opening in circuit space.
68. Panel#: H1B Size: 125 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 85)
a. Missing circuit directory.
b. Opening in circuit space.
69. Panel#: H1C Size: 125 AMP Phases: 3 Type: Panelboard MLO
Location: Tower 3, ground level Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 86)
a. Missing circuit directory.
b. Opening in circuit space.
70. Panel#: No label Size: 400 AMP Phases: 3 Type: Panelboard MLO
Location: Storage room under pool deck Good () Needs repair (X)
Comments: Panel requires repairs: (Annex "A", Photo # 87 & Photo # 88)
a. Missing identification label.
71. Panel#: Residential Size: 125 AMP Phases: 1 Type: Panelboard MLO
Location: Residential units. Good () Needs repair (X)
Comments: Typical deficiencies found for residential panels are:
a. Missing circuit directory/circuit directory does not match current installation/circuit directory is confusing or not clear. (Annex "A", Photo # 89 & Photo # 90)
b. Openings in circuit spaces, exposing live parts. (Annex "A", Photo # 91 & Photo # 92)
c. Working space clearance violation: panel were found blocked by the refrigerator or a countertop. (Annex "A", Photo # 93 & Photo # 94)

5. BRANCH CIRCUITS

1. Identified: Yes () Must be identified (X)
2. Conductors: Good (X) Deteriorated () Must be replaced ()
Comments: Branch circuits must be identified at the location of the overcurrent protection device. Refer to "ELECTRICAL PANEL" section for specific identification requirements for each panel.



6. GROUNDING SERVICE

Good (X) Repairs required ()

Comments: None

7. GROUNDING OF EQUIPMENT

Good (X) Repairs required ()

Comments: None

8. SERVICE CONDUITS/RACEWAYS

Good (X) Repairs required ()

Comments: None

9. SERVICE CONDUCTORS AND CABLES

Good (X) Repairs required ()

Comments: None

10. TYPE OF WIRING METHODS

Conduit raceways:	Good ()	Repairs required (X)	
Conduit PVC:	Good (X)	Repairs required ()	N/A ()
NM cable:	Good ()	Repairs required ()	N/A (X)
BX cable:	Good ()	Repairs required ()	N/A (X)

Comments:

NORTH BUILDING:

- Disconnect switch not labeled to identify the load it serves (Roof cooling tower mechanical room). (Annex "A", Photo # 95)
- The 120v receptacle serving the washer machine (all levels, all towers) are missing GFCI protection. Most of them do not have proper grounding (blocked by painting). (Annex "A", Photos # 96, 97, 98, 99, 100 & 101).
- Combo switch-receptacle missing protective cover (tower 3 PH level storage room). (Annex "A", Photo # 102)
- Broken receptacle cover (meter room level 16, tower 2). (Annex "A", Photo # 103)
- Receptacle for the drinking water fountain must have GFCI protection (Lobby level). (Annex "A", Photo # 104)
- Opening in junction boxes/enclosures:
 - Roof level (Annex "A", Photos # 105 & 106)
 - Boiler room (Annex "A", Photos # 107, 108 & 109)
 - Elevator machine room N2 (Annex "A", Photo # 110)

SOUTH BUILDING:

- Disconnect switch not labeled to identify the load it serves:
 - Cooling tower mechanical room, (Annex "A", Photo # 111 & Photo # 112)
 - Boiler room at roof: (Annex "A", Photo # 113)



3. West 100% OAHU room (Annex "A", Photo # 114)
 4. East 100% OAHU room (4S) (Annex "A", Photo # 115)
 5. Main switchgear room, (Annex "A", Photo # 116)
 6. Tower 4, ground level (service disconnect switch) (Annex "A", Photo # 117)
- b. The 120v receptacle serving the washer machine (all levels, all towers) are missing GFCI protection. Most of them do not have proper grounding (blocked by painting). (Annex "A", Photos # 96, 97, 98, 99, 100 & 101).
 - c. Conduit mechanically detached: 100% OAHU room (Annex "A", Photo # 118)
 - d. Receptacle and switch without cover, not securely attached to the box. (Annex "A", Photo # 119)
 - e. Receptacle and switch not properly secured to the box. (Annex "A", Photo # 120)
 - f. Phase conductors inside unlabeled DS (in main switchgear room) are marked using wrong colors (Red-Blue-Black instead of Brown-Orange-Yellow) for their voltage (480/277V 3Φ). (Annex "A", Photo # 121)
 - g. Opening in junction boxes/enclosures:
 1. roof AC room (Annex "A", Photo # 122)
 2. roof cooling tower mechanical room (Annex "A", Photo # 123)
 - h. Working space clearance violation for the motor control center, cooling tower mechanical room (30", at least 4' clearance is required). (Annex "A", Photos # 124, 125, 126 & 127)
 - i. Said motor control center is missing cover, exposing live wires (Annex "A", Photo # 128)

11. FEEDER CONDUCTORS

Good (X) Repairs required ()

Comments: None.

12. EMERGENCY LIGHTING

Good (X) Repairs required ()

Comments: None.

13. BUILDING EGRESS ILLUMINATION

Good () Repairs required (X)

Comments: Insufficient illumination levels found in the following areas (Repairs are required):

NORTH BUILDING

- a. South stair, PH level. (Annex "A", Photo # 129)
- b. Tower 1, stair TN1 19F. (Annex "A", Photo # 130)
- c. Tower 1, stair TN1 18F. (Annex "A", Photo # 131)
- d. Tower 1, stair TN1 12F. (Annex "A", Photo # 132)
- e. Tower 1, stair TN1 8F. (Annex "A", Photo # 133)
- f. Tower 1, stair TN1 7F. (Annex "A", Photo # 134)
- g. Tower 2, stair TN2 3F.

SOUTH BUILDING:

- a. South stair, PH level. (Annex "A", Photo # 135)
- b. South stair, level 19. (Annex "A", Photo # 136 & Photo # 137)
- c. Tower 3, exterior stair, level 3 to lobby. (Annex "A", Photo # 138 & Photo # 139)



14. FIRE ALARM SYSTEM

Good (X) Repairs required ()

Comments: None.

15. SMOKE DETECTORS

Good () Repairs required (X)

Comments: Residential units require smoke alarm inside sleeping rooms per Florida Fire Prevention Code - NFPA 101 rule 31.3.4.5

16. EXIT LIGHTS

Good () Repairs required (X)

Comments:

- a. North building roof: Stairwell exit doors are missing exit sign (Annex "A", Photos 140, 141, 142 & 143).
- b. South building roof: Stairwell exit doors are missing exit sign (Annex "A", Photos 144, 145, 146 & 147).

17. EMERGENCY GENERATOR

Good (X) Repairs required ()

Comments: None.

18. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS

Good (X) Repairs required ()

Comments: None.

19. OPEN OR UNDERCOVER PARKING GARAGE AREAS AND EGRESS ILLUMINATION

Good () Repairs required (X)

Comments: The open parking lot at ground level was not found in compliance with the requirements of section 8C-3 of Florida Code of Ordinances. Some areas were identified with illumination levels under the minimum requirement of 1.0 foot-candle. Refer to Annex C for a map of photometric readings.



20. SWIMMING POOL WIRING

Good () Repairs required (X)

Comments:

- a. Water heater must be bonded to the pool equipotential bonding. (Annex "A", Photo # 148)

21. WIRING TO MECHANICAL EQUIPMENT

Good (X) Repairs required ()

Comments: None.

22. ADDITIONAL COMMENTS

Out of the 682 existing dwelling units, a total of 32 residences (5%) were entered upon availability, and were inspected to identify "typical" electrical deficiencies.

These deficiencies are assumed to be common and may be present in other similar circumstances. A qualified electrical contractor shall utilize this report as a guide to investigate, and identify similar deficiencies which may be present in all residences throughout the facility, and rectify under proper permits. Electrical contractor shall also bring all deficiencies to the attention of the engineer of record, and the board's representative.

The following table depicts the inferred percentages of incidence of the typical deficiencies found inside the residential units.

No	Description	Found	% Incidence	Units potentially affected
1	Missing GFCI protection for receptacles in the kitchen	26	81%	555
2	Missing GFCI protection for receptacles in the bathrooms	28	88%	597
3	Missing GFCI protection for receptacles in the balcony	8	25%	171
4	Missing smoke alarm inside the sleeping rooms	30	94%	640
5	Missing smoke alarm outside of the sleeping rooms	5	16%	107
6	Electrical panel: working space clearance violation	14	44%	299
7	Electrical panel: missing proper circuit directory	14	44%	299
8	Electrical panel: opening in circuit spaces	5	16%	107



Annex "A"

Site Photographs





Photo # 1. Unidentified service-disconnect switch (main electrical room North building)



Photo # 2. Unidentified service-disconnect switch (main electrical room South building)



Photo # 3. Unidentified service-disconnect switch (main electrical room South building)



Photo # 4. Meter rooms were found use for storage purposes.

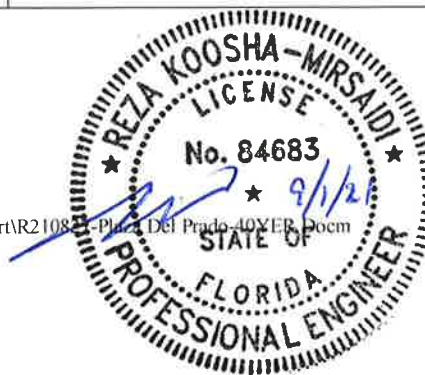




Photo # 5. Some main circuit breakers in the meter cans are missing identification of the unit they serve.



Photo # 6. North building tower 1, meter bank level 3: missing cover for meter can circuit breaker enclosure.



Photo # 7. North building, tower 3, meter room level 19: opening in meter can. Notice the circuit breaker cover is missing screws.

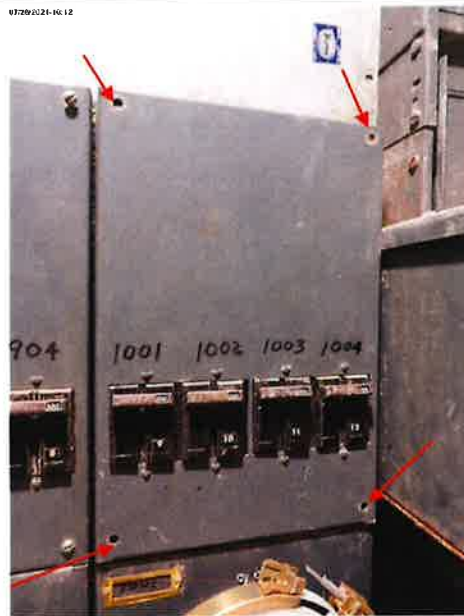


Photo # 8. North building, tower 3, meter room at level 9: circuit-breaker cover missing screws.





Photo # 9. North building, tower 4, meter room level 12: opening in circuit breaker space.



Photo # 10. South building, tower 4, meter room level 19: opening in circuit breaker space.



Photo # 11. South building, tower 3, meter room level 12: opening in circuit breaker space.

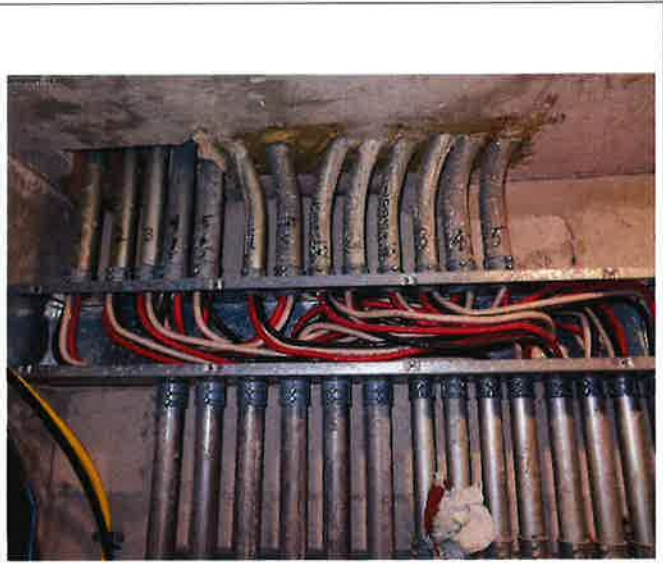
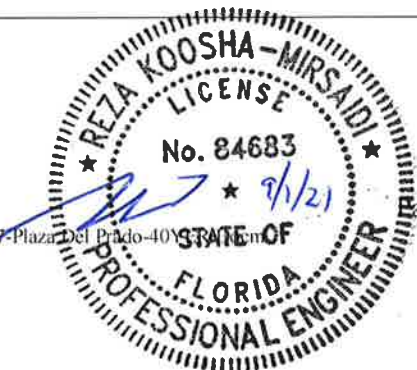


Photo # 12. Gutter in meter room level 3, North building, tower 1.



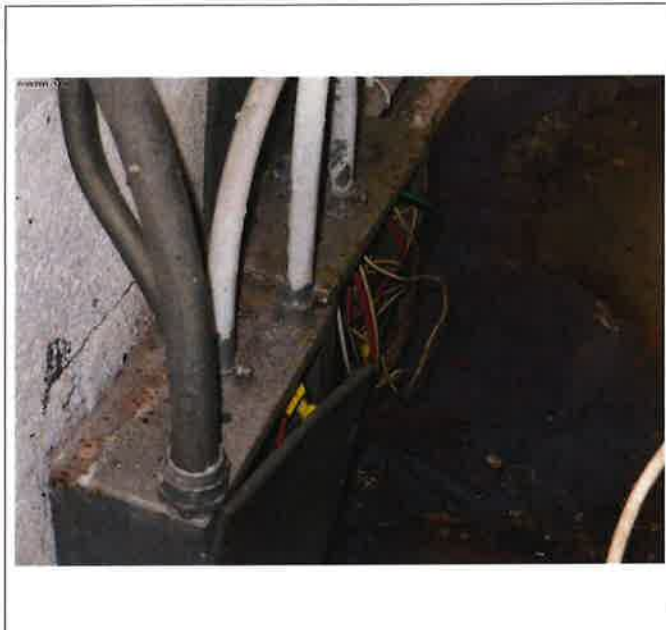


Photo # 13. Outside Air Unit 3N room: gutter missing cover.



Photo # 14. North building main electrical room electrical panel depicted (item #4.1)



Photo # 15. North building main electrical room electrical panel depicted (item #4.2)



Photo # 16. North building main electrical room electrical panel depicted (item #4.2 "clearance violation")





Photo # 17. North building main electrical room electrical panel depicted (item #4.3)



Photo # 18. North building main electrical room electrical panel depicted (item #4.4)



Photo # 19. North building main electrical room electrical panel depicted (item #4.5)



Photo # 20. North building main electrical room electrical panel depicted (item #4.6)

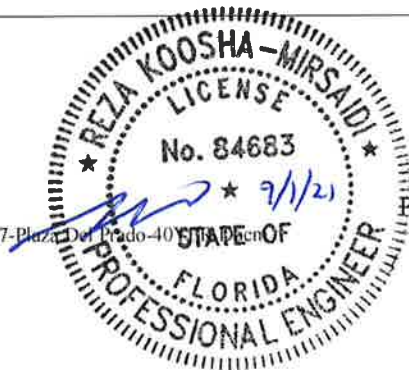




Photo # 21. North building main electrical room electrical panel depicted (item #4.7)



Photo # 22. North building main electrical room electrical panel depicted (item #4.8)



Photo # 23. North building main electrical room electrical panel depicted (item #4.9)



Photo # 24. North building main electrical room electrical panel depicted (item #4.10)

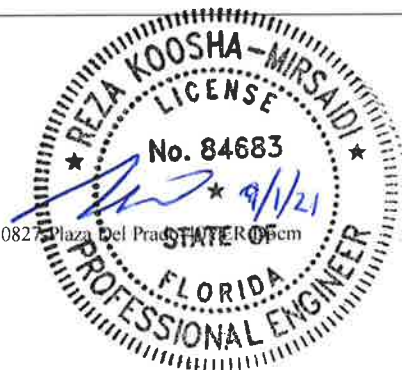




Photo # 25. North building - electrical panel depicted (item #4.11)



Photo # 26. North building - electrical panel depicted (item #4.12)



Photo # 27. North building - electrical panel depicted (item #4.13)



Photo # 28. North building - electrical panel depicted (item #4.13)

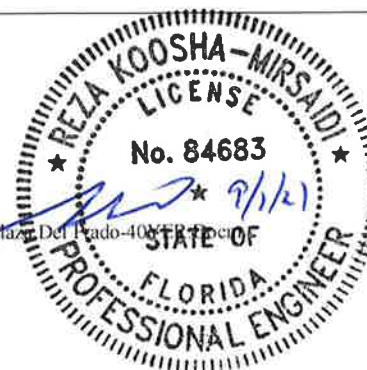




Photo # 29. North building - electrical panel depicted (item #4.15)



Photo # 30. North building - electrical panel depicted (item #4.16)



Photo # 31. North building - electrical panel depicted (item #4.17)



Photo # 32. North building - electrical panel depicted (item #4.18)





Photo # 37. North building - electrical panel depicted (item #4.23)



Photo # 38. North building - electrical panel depicted (item #4.24)



Photo # 39. North building - electrical panel depicted (item #4.25)



Photo # 40. North building - electrical panel depicted (item #4.26)

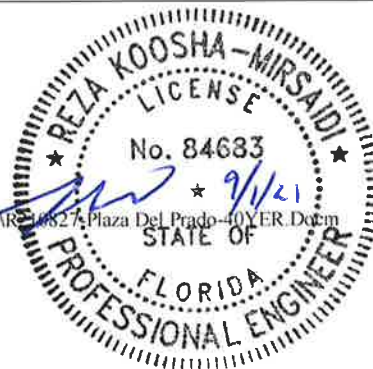




Photo # 41. North building - electrical panel depicted (item #4.27)



Photo # 42. North building - electrical panel depicted (item #4.28)



Photo # 43. North building - electrical panel depicted (item #4.29)



Photo # 44. North building - electrical panel depicted (item #4.30)





Photo # 45. North building - electrical panel depicted (item #4.31)



Photo # 46. North building - electrical panel depicted (item #4.32)



Photo # 47. North building - electrical panel depicted (item #4.33)



Photo # 48. North building - electrical panel depicted (item #4.34)

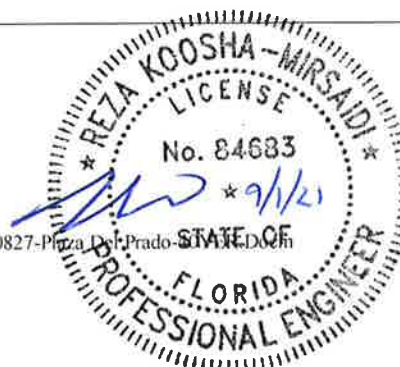




Photo # 49. North building - electrical panel depicted (item #4.35)



Photo # 50. North building - electrical panel depicted (item #4.36)



Photo # 51. South building main electrical room electrical panel depicted (item #4.37)



Photo # 52. South building main electrical room electrical panel depicted (item #4.37)





Photo # 53. South building main electrical room electrical panel depicted (item #4.38)



Photo # 54. South building main electrical room electrical panel depicted (item #4.39)



Photo # 55. South building main electrical room electrical panel depicted (item #4.40)



Photo # 56. South building main electrical room electrical panel depicted (item #4.41)

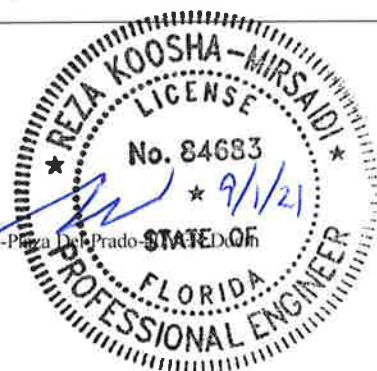




Photo # 57. South building main electrical room electrical panel depicted (item #4.42)



Photo # 58. South building main electrical room electrical panel depicted (item #4.43)



Photo # 59. South building main electrical room electrical panel depicted (item #4.44)



Photo # 60. South building - electrical panel depicted (item #4.46)

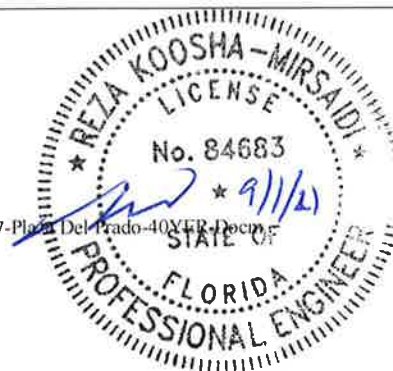




Photo # 61. South building - electrical panel depicted (item #4.48)

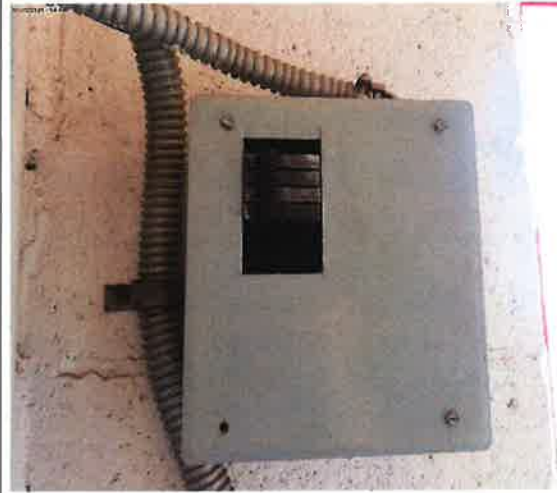


Photo # 62. South building - electrical panel depicted (item #4.49)



Photo # 63. South building - electrical panel depicted (item #4.50)



Photo # 64. South building - electrical panel depicted (item #4.51)





Photo # 65. South building - electrical panel depicted (item #4.52)



Photo # 66. South building - electrical panel depicted (item #4.52)



Photo # 67. South building - electrical panel depicted (item #4.52)



Photo # 68. South building - electrical panel depicted (item #4.53)





Photo # 69. South building - electrical panel depicted (item #4.54)



Photo # 70. South building - electrical panel depicted (item #4.55)



Photo # 71. South building - electrical panel depicted (item #4.57)



Photo # 72. South building - electrical panel depicted (item #4.58)





Photo # 73. South building - electrical panel depicted (item #4.59)



Photo # 74. South building - electrical panel depicted (item #4.59)



Photo # 75. South building - electrical panel depicted (item #4.59)



Photo # 76. South building - electrical panel depicted (item #4.59)

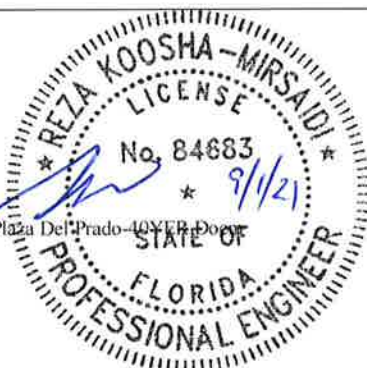




Photo # 77. South building - electrical panel depicted (item #4.60)



Photo # 78. South building - electrical panel depicted (item #4.61)



Photo # 79. South building - electrical panel depicted (item #4.62)



Photo # 80. South building - electrical panel depicted (item #4.63)





Photo # 81. South building - electrical panel depicted (item #4.64)



Photo # 82. South building - electrical panel depicted (item #4.65)



Photo # 83. South building - electrical panel depicted (item #4.66)



Photo # 84. South building - electrical panel depicted (item #4.67)





Photo # 85. South building - electrical panel depicted (item #4.68)

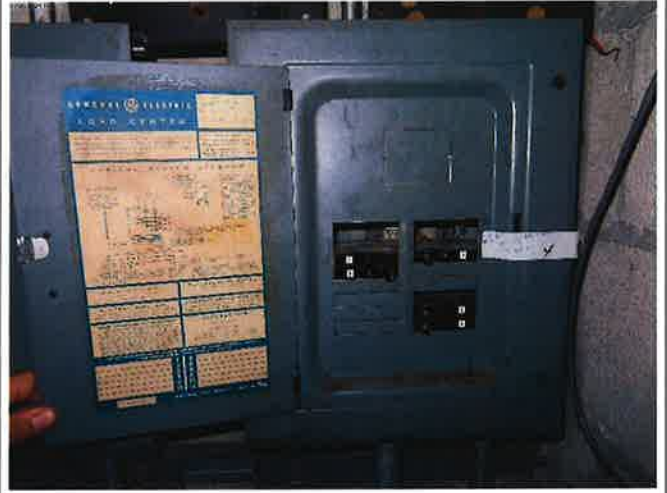


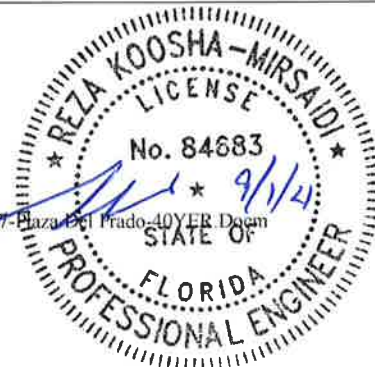
Photo # 86. South building - electrical panel depicted (item #4.69)



Photo # 87. Marina storage room (under the pool deck) – electrical panel depicted (item #4.70)



Photo # 88. Marina storage room (under the pool deck) – electrical panel depicted (item #4.70)



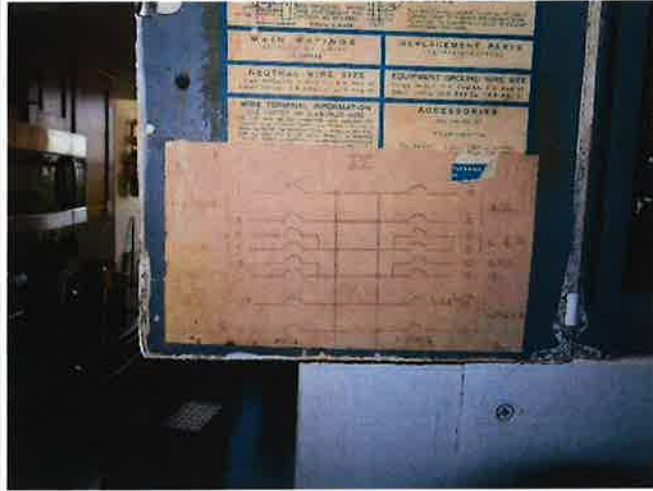


Photo # 89. Typical residential panel where the circuit directory is missing, incomplete or confusing (item #4.71)



Photo # 90. Typical residential panel where the circuit directory is missing, incomplete or confusing (item #4.71)

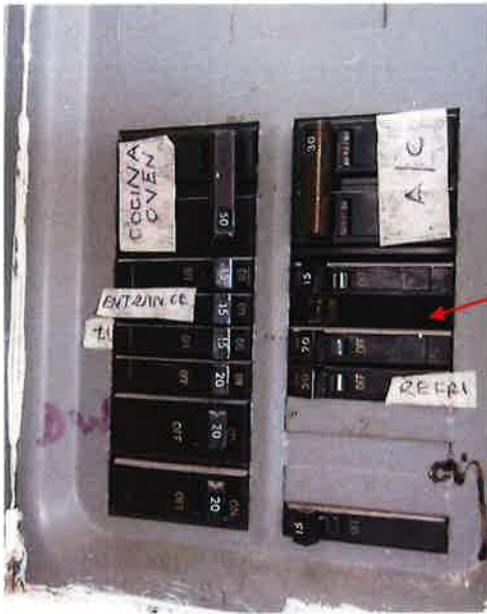


Photo # 91. Typical residential panel having an opening in a circuit space (item #4.71)



Photo # 92. Typical residential panel having an opening in a circuit space (item #4.71)





Photo # 93. Typical residential panel where there is no working space clearance (item #4.71)



Photo # 94. Typical residential panel where there is no working space clearance (item #4.71)

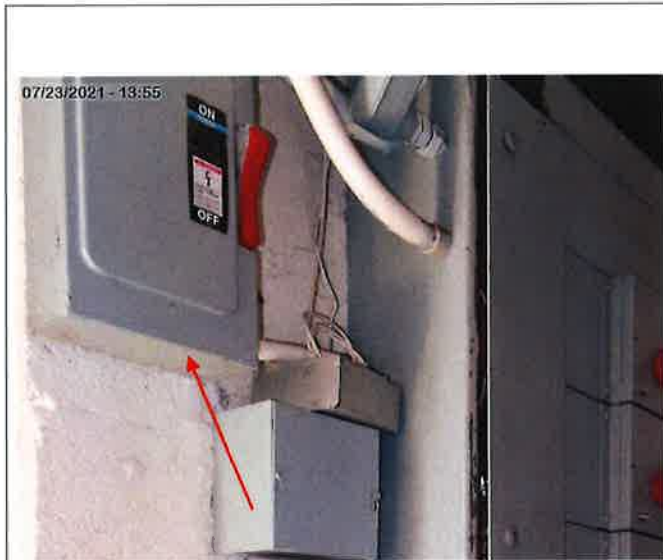


Photo # 95. Disconnect switch not labeled to identify the load it serves (North building, roof cooling tower mechanical room)(Item #10.a)



Photo # 96. Laundry room receptacle for the washer machine is depicted. Notice the grounding is missing. Also, GFCI protection is required (typical for all level, all towers in both buildings) (Item #10.b)

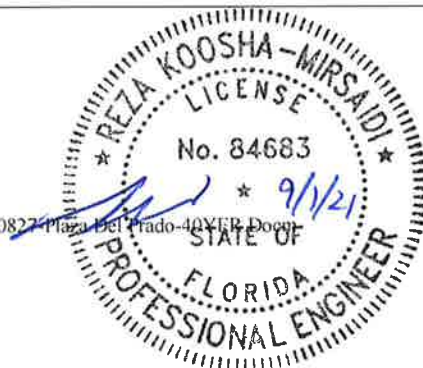




Photo # 97. Laundry room receptacle for the washer machine is depicted. Notice the grounding is missing. Also, GFCI protection is required (typical for all level, all towers in both buildings) (Item #10.b)



Photo # 98. Laundry room receptacle for the washer machine is depicted. Notice the grounding is missing. Also, GFCI protection is required (typical for all level, all towers in both buildings) (Item #10.b)



Photo # 99. Laundry room receptacle for the washer machine is depicted. Notice the grounding is missing. Also, GFCI protection is required (typical for all level, all towers in both buildings) (Item #10.b)



Photo # 100. Laundry room receptacle for the washer machine is depicted. Notice paint has penetrated the connection ports. Also, GFCI protection is required (Item #10.b)





Photo # 101. A plug for the washer machine is depicted. Notice paint covering the metal connectors which impeach proper grounding. Plug connectors must be cleaned (typical) (Item #10.b)



Photo # 102. North building, tower 3, PH level storage room: receptacle missing protective cover.



Photo # 103. Broken receptacle cover, meter room level 16, North building, tower 2.



Photo # 104. Receptacle for the drinking water fountain must have GFCI protection.





Photo # 105. Opening in junction boxes/enclosures (Item #10.f.1)

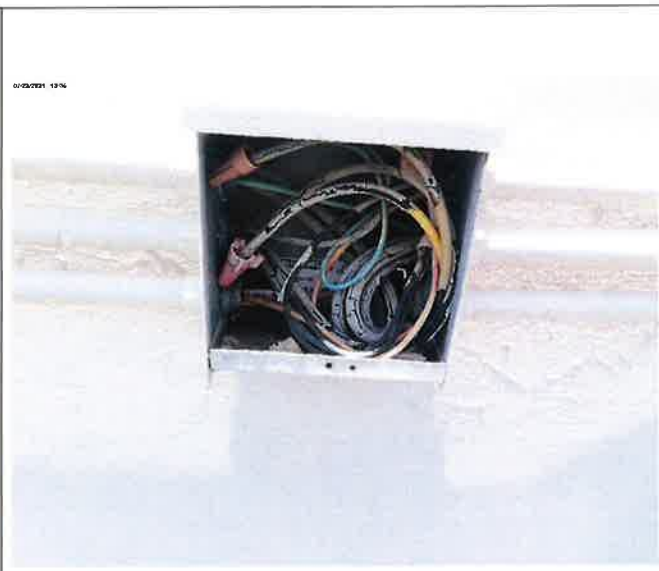


Photo # 106. Opening in junction boxes/enclosures (Item #10.f.1)



Photo # 107. Opening in junction boxes/enclosures (Item #10.f.2)



Photo # 108. Opening in junction boxes/enclosures (Item #10.f.2)

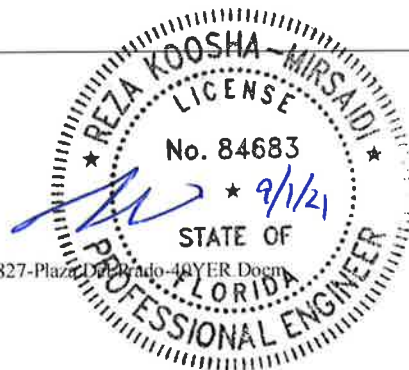




Photo # 109. Opening in junction boxes/enclosures (Item #10.f.2)



Photo # 110. Opening in junction boxes/enclosures (Item #10.f.3)

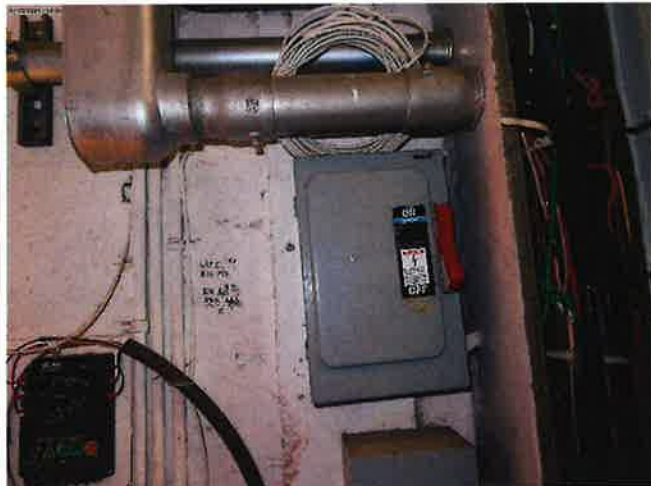


Photo # 111. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.1)



Photo # 112. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.1)





Photo # 113. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.2)



Photo # 114. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.3)



Photo # 115. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.4)



Photo # 116. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.5)





Photo # 117. Disconnect switch not labeled to identify the load it serves (South building, roof cooling tower mechanical room)(Item #10.a.6)



Photo # 118. Conduit mechanically detached (Item # 10-SOUTH-c)



Photo # 119. Receptacle and switch without cover (Item # 10-SOUTH-d)



Photo # 120. Receptacle and switch not properly secured to the box (Item # 10-SOUTH-d)





Photo # 121. Wrong color marking for phase conductors (Item # 10-SOUTH-f)



Photo # 122. Opening in junction box exposing live wires (Item # 10-SOUTH-g.1)



Photo # 123. Opening in junction box exposing live wires (Item # 10-SOUTH-g.2)



Photo # 124. Working space clearance violation (Item # 10-SOUTH-h)





Photo # 125. Working space clearance violation (Item # 10-SOUTH-h)



Photo # 126. Working space clearance violation (Item # 10-SOUTH-h)



Photo # 127. Working space clearance violation (Item # 10-SOUTH-h)



Photo # 128. Missing protective cover for the motor control center (Item # 10-SOUTH-i)





Photo # 129. Insufficient illumination for the building means of egress (Item #13.NORTH-a).



Photo # 130. Insufficient illumination for the building means of egress (Item #13.NORTH-b).



Photo # 131. Insufficient illumination for the building means of egress (Item #13.NORTH-c).



Photo # 132. Insufficient illumination for the building means of egress (Item #13.NORTH-d).

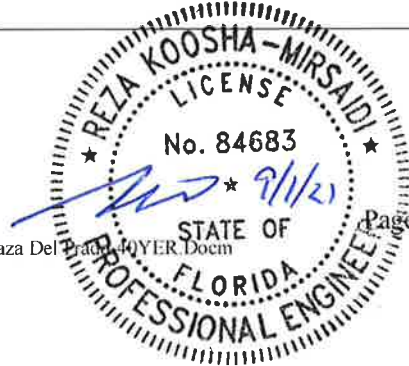




Photo # 133. Insufficient illumination for the building means of egress (Item #13.NORTH-e).



Photo # 134. Insufficient illumination for the building means of egress (Item #13.NORTH-f).



Photo # 135. Insufficient illumination for the building means of egress (Item #13.SOUTH-a).



Photo # 136. Insufficient illumination for the building means of egress (Item #13.SOUTH-b).





Photo # 137. Insufficient illumination for the building means of egress (Item #13.SOUTH-b).



Photo # 138. Insufficient illumination for the building means of egress (Item #13.SOUTH-c).



Photo # 139. Insufficient illumination for the building means of egress (Item #13.SOUTH-c).



Photo # 140. North building roof: Stairwell exit doors are missing exit sign (Item # 16.a)





Photo # 141. North building roof: Stairwell exit doors are missing exit sign (Item # 16.a)



Photo # 142. North building roof: Stairwell exit doors are missing exit sign (Item # 16.a)



Photo # 143. North building roof: Stairwell exit doors are missing exit sign (Item # 16.a)



Photo # 144. South building roof: Stairwell exit doors are missing exit sign (Item # 16.b)





Photo # 145. South building roof: Stairwell exit doors are missing exit sign (Item # 16.b)



Photo # 146. South building roof: Stairwell exit doors are missing exit sign (Item # 16.b)



Photo # 147. South building roof: Stairwell exit doors are missing exit sign (Item # 16.b)



Photo # 148. Pool water heater not bonded. (Item # 20)



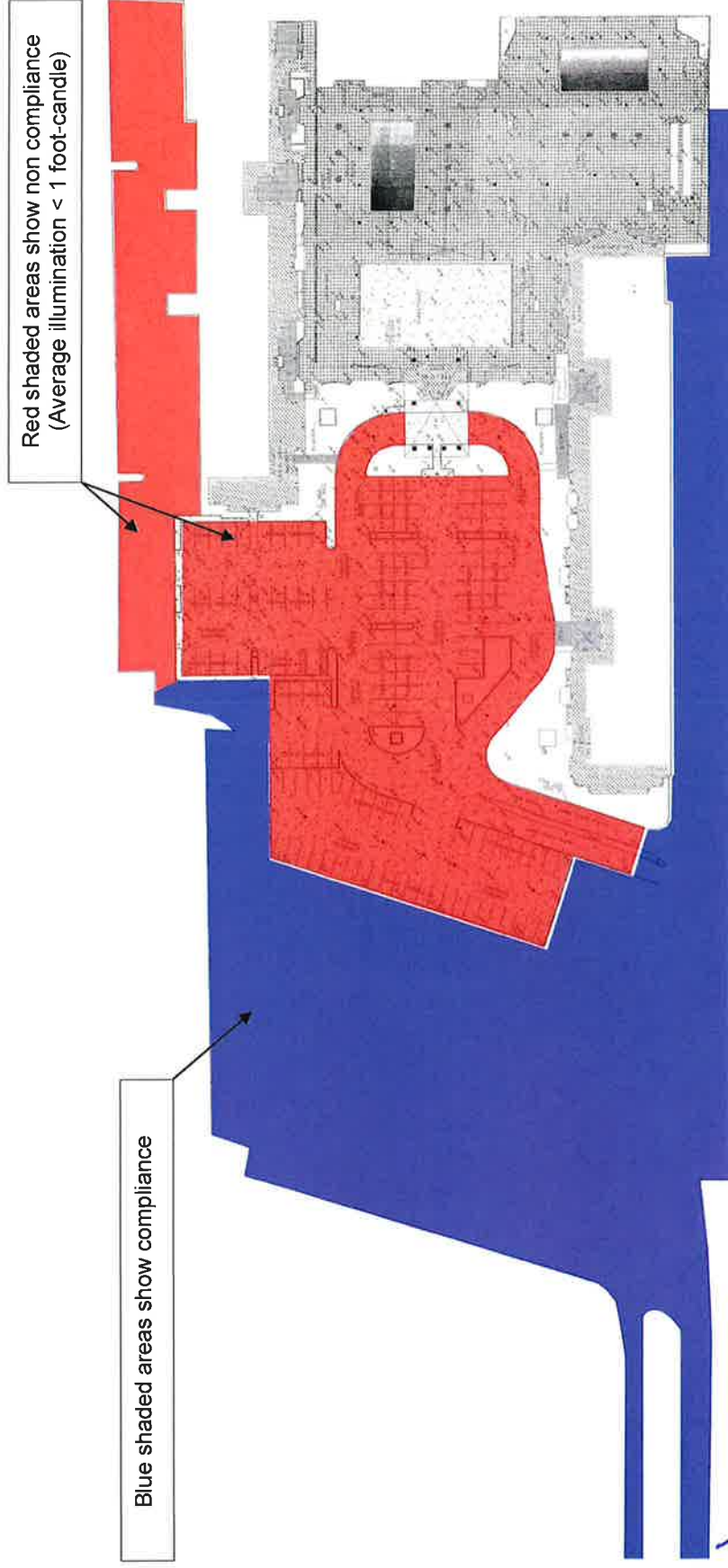
Annex "B"

Photometric Map

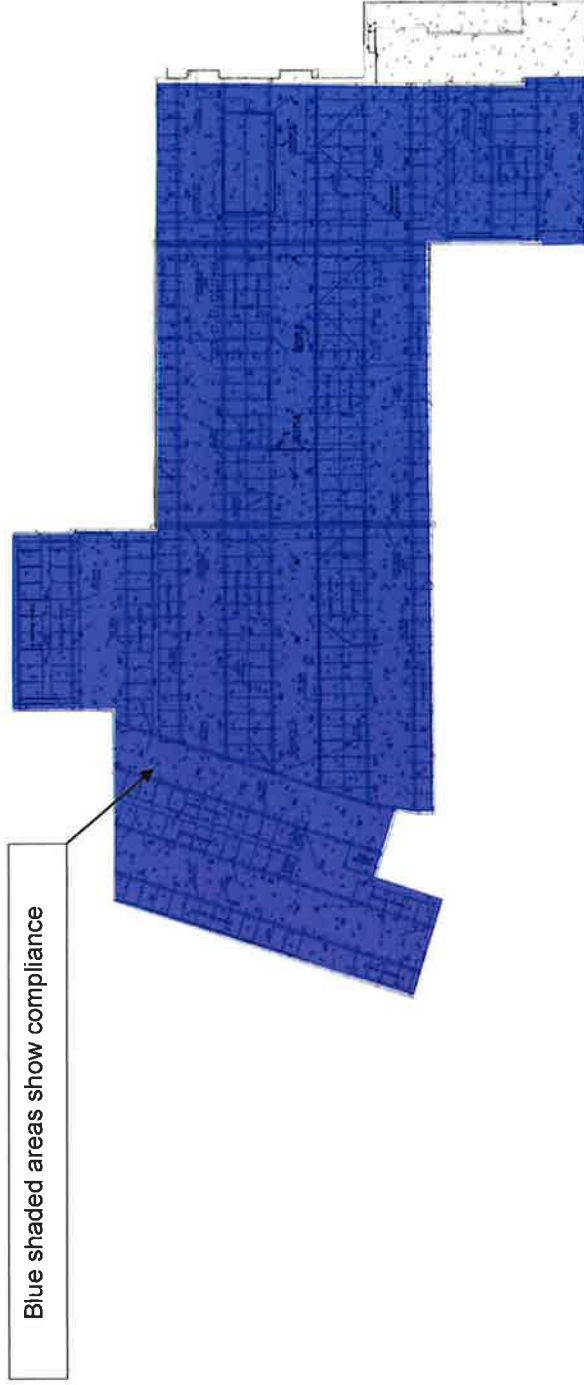


Site Plan View

(Includes upper-level garage deck)



Parking garage ground level



**CERTIFICATION OF COMPLIANCE WITH PARKING LOT ILLUMINATION
STANDARDS IN CHAPTER 8C-3 OF THE CODE OF MIAMI-DADE COUNTY**

DATE: 09/01/2021

Case No. FYear N/A

Property


Address: 18021 Biscayne Blvd Aventura FL 33160 Bldg. No.: _____ Sq. Ft.: 72,000

Folio

Number: 28 - 2210 - 014 - 0001

Building Description: (2) Twenty-story residential buildings with an open parking lot and a two-level parking garage.

1. I am a Florida registered Professional Engineer or Architect with an active license.
2. On July 7, 2021, at 8:15 PM, I measured the level of illumination in the parking lots(s) serving the above reference building.
3. Maximum 10.9 foot-candles.
Minimum 0.11 foot-candles.
Maximum to minimum ratio 99:1, foot-candle.
4. The level of illumination provided in the parking lot **does not** meet the minimum standards for the occupancy classification of the building as established in Section 8C-3 of the Code of Miami-

Dade County

Signature and Seal of Professional
Engineer or Architect

REZA KOOSHA-MIRSAEDI
Print name



THE FALCON GROUP

**ENGINEERING|ARCHITECTURE | ENERGY
CONSULTING ENGINEERS**

PROJECT MANUAL & SPECIFICATIONS FOR PLAZA PRADO CONDOMINIUM ASSOCIATION 40-YEAR ELECTRICAL RECERTIFICATION REPAIRS.

Y:\Clients\Falcon2016\16-637\018_40-Year Electrical Repairs\Plaza del Prado Condo-40Y Electrical Repairs-Bidding manual.docx

PROJECT:	Plaza del Prado Condominium Association 40-Year Electrical Recertification Repairs
LOCATION:	18071 Biscayne Blvd Aventura, FL 33160
PROJECT MANAGER:	Jose Urdaneta – Senior Project Manager
PREPARED BY:	The Falcon Group Consulting Engineers 15405 NW 7th Avenue Miami, Florida 33169
DATE:	March 14, 2022

NOTE: THIS DOCUMENT SHALL NOT BE USED WITHOUT THE DIRECT KNOWLEDGE OF FALCON ENGINEERING AND SHALL NOT BE DUPLICATED OR USED FOR ANY PROJECT OTHER THAN THIS PROJECT AS TITLED ABOVE.



Table of Contents

00010	GENERAL OVERVIEW	3
00100	INSTRUCTION TO BIDDERS	4
00200	DOCUMENTS	4
00201	BID SUBMITTALS	4
00202	MANDATORY PRE-BID MEETING	6
00203	SUBSTITUTIONS	6
00204	REQUEST FOR INFORMATION AND INTENT TO BID	6
00205	CONTACTS	7
00206	TAXES, FEES AND PERMITS	7
00207	TIME OF COMPLETION / PENALTIES	8
00208	BIDDERS QUALIFICATIONS	8
00209	PAYMENT TO CONTRACTOR	8
00210	INSURANCE	9
00211	PROJECT SCHEDULE	9
00300	BID PROPOSAL FORM	12
00301	OUTLINE SCOPE OF WORK	13
00302	ATTACHMENTS	18
00302	CONTRACTOR'S QUALIFICATION STATEMENT	19

ATTACHEMENTS:

ANNEX A – 40Y ELECTRICAL RECERTIFICATION REPORT



00010 GENERAL OVERVIEW

PROJECT INFORMATION

Project Identification: Plaza del Prado Condominium Association - 40-Year Electrical Recertification Repairs.

Project Location: 18071 Biscayne Blvd Aventura, FL 33160

Owner: Plaza del Prado Condominium Association, Inc.

Owner's Representative: Mrs. Marjorie Davalos - General Manager, LCAM

Engineer: The Falcon Group

Engineer's Representative:
(Project Manager) Jose Urdaneta, Sr. Project Manager.

Project Description: The purpose of this document is to provide the scope of work and specifications for the necessary repairs of the electrical deficiencies identified in the 40-year electrical inspections completed on July 27, 2021.

The repairs of these deficiencies are required to obtain the 40-year electrical certification, as described in Section 8-11(f) of the Code of Miami-Dade County and conforming, with the minimum inspection procedural guidelines as issued by the Miami-Dade Board of Rules and Appeals. All repairs or modifications shall be completed in conformance with all applicable Sections of the Florida Existing Building Code 2020 Edition, and the National Electrical Code 2017 Edition.



00100 INSTRUCTION TO BIDDERS

- A. Bidders shall examine the Plaza del Prado Condominium facilities, the existing electrical equipment, and its conditions, as well as the proposed scope of work described in this document. Each bidder shall determine for him or herself all work conditions and requirements.
- B. Bidders shall submit required documentation in accordance with the requirements of this specification.

00200 DOCUMENTS

- A. Documents will be provided free of charge to approved bidders only via email in electronic format (PDF).

00201 BID SUBMITTALS

- A. All bidders shall send an electronic copy of the Bid Proposal Form via email to the address listed below. The Owner's representative will receive bids until the bid time and date at the location given below. Then Owner's Representative will consider only the bids prepared in compliance with these instructions, and delivered as follows:

Bid Date: Friday, April 1, 2022

Bid Time: 4:00 PM

email: **Mrs. Marjorie Davalos**, manager@plazadelprado.net

Copy to: **Jose Urdaneta**, jurdaneta@thefalcongroun.us

- B. The OWNER reserves the right to reject any and all bids, to waive any and all informalities not involving price, time or change in the work and to negotiate contract terms with the successful BIDDER, and the right to disregard all nonconforming, non-responsive, unbalanced, or conditional bids. The OWNER also reserves the right to reject the Bid if not responsive, or if the BIDDER is unqualified or of doubtful financial ability, or fails to meet any other pertinent standard or criteria established by the OWNER. Additionally, the OWNER reserves the right to break up the individual components of each submitted Bid. In



evaluating the bids, the OWNER will consider the qualifications of the BIDDERS, whether the Bids comply with the prescribed requirements, and such alternatives, unit prices and other data.

- C. Each Bid Proposal Form shall be complete. All requested information shall be completed in full. All units for pricing shall be in accordance with the Bid Proposal Form. The Owner will reject any bids not submitted on the Bid Proposal Form or bids submitted which have incomplete information on the Bid Proposal Form.
- D. The Specifications and all relevant attachments including addenda, drawings, instructions to bidders, and the Bidders submitted Bid Proposal Form shall become part of the Contract to be executed by the successful Bidder.
- E. The Bidder is responsible for all required material and labor quantities that are paid as part of a lump sum bid item. The Bidder shall obtain all material and labor estimates from his/her field investigation and measurements. The information provided to the bidder is not guaranteed to be complete or accurate. The bidder shall inform the Project Manager prior to the submission of bid of any conditions that may materially affect the specified scope of work and are not covered in the Specifications and/or applicable drawings.
- F. The Bidder shall be knowledgeable of current materials costs and availability. There shall be no adjustment to the submitted bid amounts due to variations in industry pricing, nor does any lack of information by a successful bidder entitle him/her to consideration for extra payment.
- G. No interpretation of the meaning of the Contract Schedule, Specifications, or other Contract Documents, made to any bidder orally, is binding in any way upon the Owner/Engineer. Every request for such interpretation shall be addressed to the Project Manager via email to be given consideration. Any and all such interpretations and any supplemental instruction will be in the form of written addenda to the Specifications, which, if issued, will be sent via email to all prospective bidders (at the respective email address furnished for such purposes), not later than five (5) calendar days prior to the date fixed for the bid due date. Failure of any bidder to receive any such addendum or interpretation shall not relieve the bidder from any obligation under the bid as submitted. All addenda so issued shall become part of the Contract Document. The Project Manager shall not be obligated to respond to questions.
- H. Bidders may direct all questions regarding the project to the Owner's Representative AND the Engineer's Representative to the email addresses shown on part 00205 CONTACTS.
- I. Each Bidder shall submit pricing for all items on the Bid Proposal Form. All prices shall include the cost of all materials, equipment, disposal, labor, taxes and permits, and any other costs related to, or arising out of the work. There shall be no additional cost to the Owner arising from taxes, fees or permits.
- J. Each Bidder shall furnish signatures and seals and fill in all the blanks as required.



- K. A Bidder who is not a resident of the State of Florida shall designate an agent in the State of Florida on whom service can be made in the event of litigation.
- L. Proposals submitted by corporations must be executed in the corporate name by the president or vice-president (or other duly authorized corporate officer) and accompanied by evidence of authority of the individual to sign, and the corporate seal shall be affixed and attested by the secretary or an assistant secretary. The corporate address and state of incorporation shall be shown. Proof of good standing may be required of the successful bidder.

00202 MANDATORY PRE-BID MEETING

- A. A Mandatory pre-bid meeting for all bidders will be held at the site on **Monday, March 21, 2022, at 10:00 AM.**
- B. Prospective bidders are required to attend. Bids submitted by non-attending bidders will not be considered. No make-up time will be granted to any bidders not attending the meeting.

00203 SUBSTITUTIONS

- A. All bids shall be based upon materials specified. No approval shall be granted to bidders for material substitutions prior to the bid due date. Substitutions shall be considered only after award of the Contract.
- B. Substitution of materials shall only be made by written Change Order authorized by the Owner and the Owner's designated representative (Engineer of Record).
- C. All materials will be new, unexpired, original, in original packaging, free of defects, stored properly in accordance with manufacturer's requirements. The Engineer has the right to request purchase orders in to review the condition of the material. The Engineer has the right to request material to be removed from the site and replaced if the material does not meet project requirements.

00204 REQUEST FOR INFORMATION AND INTENT TO BID

- A. All Contractors shall direct all questions or requests for information or clarifications in writing, by electronic mail to the Project Manager. All questions and/or requests for



information must contain contact information for the primary person to whom the response can be directed.

- B. All Questions and Bidders Intent to Bid must be submitted no later than **Wednesday, March 30, 2022 at 5PM** to the Project Manager Contact below.

00205 CONTACTS

Jose Urdaneta, Sr. P.M.
The Falcon Group
15405 NW 7th Avenue
Miami, FL 33169
Ph: (305)-910.4289
jurdaneta@thefalcongroun.us

Mrs. Marjorie Davalos, LCAM
18071 Biscayne Blvd
Aventura, FL 33160
Ph: (786)-629.6652
manager@plazadelprado.net

00206 TAXES, FEES AND PERMITS

- A. The Bidder shall pay all applicable taxes and fees, except those taxes, which apply to the real property comprising the site of the project.
- B. The Bidder shall be responsible for paying and obtaining any required Building Permits for the work. In addition, it shall be the Bidder's responsibility to arrange for inspection by and comply with the requirements of the local municipal authorities. The permit cost will be reimbursed by the Owner. The Owner will reimburse the Bidder only for the real cost for the permit (receipt issued by the Authority issuing the permit is required for reimbursement). The Owner will not reimburse the bidder for use of "permit runners", "permit expeditors", and similar, unless it was a direct request by the Owner.



00207 TIME OF COMPLETION / PENALTIES

- A. Successful bidder shall begin the Work within ten (10) workdays of receiving Notice to Proceed and issuance of work permit and shall complete the Work within the agreed upon Contract Time.

00208 BIDDERS QUALIFICATIONS

- A. Bidders must be properly licensed under the laws governing their respective trades and be able to obtain insurance and bonds required for the Work.
- B. Each bidder must submit a list of references of at least three (3) similar jobs completed in the past three (3) years. Bids submitted without the proper references will not be considered.
- C. Bidders must be licensed Electrical Contractors.

00209 PAYMENT TO CONTRACTOR

Subject to the terms and conditions of the Contract Documents, payments shall be made to the Contractor as follows:

- A. The Bidder shall be responsible for paying and obtaining any required Building Permits for the work. In addition, it shall be the Bidder's responsibility to arrange for inspection by and comply with the requirements of the local municipal authorities. Any permit fees will be reimbursed by the Owner to the Contractor at cost only. No expeditors or permit runner fees will be paid. Contractor shall provide proof of incurred expenses (receipt issued by the Authority issuing the permit is required for reimbursement).
- B. The Contractor shall provide the Engineer with a standard AIA Payment Request form and Lien Waiver. Template forms will be provided for contractor's use.
- C. Final payment will be release to the Contractor upon completion of the project in accordance with the construction documents and after permit closeout, final release of lien, and final inspections are approved by the Engineer of Record and City Officials.
- D. Payment to the Contractor by the Owner is not evidence of acceptance of non-conforming or defective work.
- E. Payment for Extra Work shall be made at a previously agreed upon amount, based upon the value of Extra Work performed.



- F. The Contractor will be responsible for all sales and use taxes on purchases for material incorporated or consumed in the performance of the work.

00210 INSURANCE

- A. The Contractor shall provide and maintain insurance as specified in the form and amounts specified in the contract for the duration of the project.
- B. Comprehensive General Liability, including Contractual Liability, as per minimum State requirements.
- C. Workmen's Compensation insurance in an amount no less than the full statutory minimum required by the laws of Florida.
- D. Failure to maintain required insurance coverage shall be considered a breach of the Contract.
- E. The following entities must be listed as additionally insured:
 - Owner – Plaza del Prado Condominium Association Inc.
 - Engineer – The Falcon Group.

00211 PROJECT SCHEDULE

- A. Contractor shall provide estimate time to complete each work task.

00212 GENERAL NOTES

- A. All the repair works described in this document shall be executed by a licensed Electrical Contractor.
- B. The contractor will need to submit a schedule for time to complete each work task for approval prior to beginning repairing work on the property. A revised schedule shall be submitted with every payment application. If a revised schedule has not been provided, the Project Manager has the right to deny payment application until such schedule is provided. The schedule will be provided in a format acceptable to the Project Manager (Gantt chart or similar approved).



- C. All unit price work or any other specified for the project are **INCLUSIVE** of general conditions, mobilization, demobilization, overhead, profit, labor, material and any other fees/costs necessary for completing the work. **No additional mobilization/demobilization will be allowed based on the increase of quantities.**
- D. In providing change orders for additions to the work for which unit prices are already part of the contract, Contractor shall honor those prices and will only be allowed for adjustment in quantity. Contractor acknowledges and agrees to continue working under these terms for any additional quantities (whether they were based on the allowances or lump sum portion of the contract) that are in excess of the quantities provided in the contract documents.
- E. All fields in the bid **MUST** be populated for the bid to be considered. The unit prices provided shall serve as the base for additions or deductions from the contract. The contractor agrees and acknowledges that in the event of additional work for which unit prices have been established those unit prices shall be used to calculate the cost of the additional work. All unit prices shall be inclusive of general conditions. No additional general conditions shall be allowed for any additional work. Contract will not be substantially completed until all the additional quantities/work is completed.
- F. The Contractor shall be responsible for any damage that occurs as a direct or indirect result of the repair process. The Contractor shall be responsible for taking all preventive steps necessary to avoid damage to the Buildings, components of the Buildings, surrounding grounds, utilities, vegetation, and any and all property of the occupants. If the Contractor believes that any of the methods of construction, materials, or equipment may cause direct or indirect damage to the Buildings, components of the Buildings, surrounding grounds, utilities, vegetation, and any and all property of the occupants, the Contractor shall bring such items to the attention of the Owner, in writing, at the time of bid submittal. If such items were not brought to the attention of the Owner, it will become Contractor's responsibility to repair all damaged items to the satisfaction of the Owner, at no cost to the Owner.
- G. Contractor shall obtain and submit photographic documentation of existing conditions prior to the start of work to Engineer and Owner (pre-construction survey).
- H. Inspections: All work outlined in these Specifications and related documents may be inspected by the Owner, its representatives and/or the Engineer at any time. If the Owner does or does not elect to inspect, this confers no rights on the part of the contractor and does not relieve the contractor from his responsibilities. The Contractor shall perform all work in accordance with these Specifications, and to the satisfaction of the Owner, the Owner's representative, and the Engineer including any work not included in these Specifications but required by the local and government authorities. The Contractor shall schedule all inspections required by local and government authorities and in accordance with required permits to obtain Certificates of Occupancy or Certificates of Completion issued by the local authorities. The Contractor shall notify the Owner of all such inspections and provide ample notification so that the Owner may be present for all inspections. The Contractor shall keep on the site a log with all inspections and will be responsible for ensuring that the Engineer,



or Inspector have access to it on the day of inspection. The contractor is responsible for requesting inspection with the engineer of record. All engineer inspections shall require a minimum 48-hour notification to the Engineer.

- I. If an inspection is requested and no work needs to be inspected, work has not been substantially complete for inspection, access is not provided, etc. then the contractor will be responsible for paying fines, fees, and costs, resulting from the necessity of reinspection, including fees incurred by the Owner's representative for reinspection, and consequential damages.
- J. The contractor must provide an on-site, English-speaking supervisor that is always present during working hours, and who is thoroughly trained in all aspects of the work.
- K. The contractor, once having started the work, shall continuously and expeditiously proceed with its vigorous prosecution until completion of the work.
- L. A copy of all required permits, licenses, certificates, and approval shall be delivered to the Project manager and a copy shall be posted in a prominent location at the work site prior to commencement of the work.
- M. All materials shall be installed in accordance with manufacturer written specifications and acceptable industry standards, and these specifications.
- N. All work shall be performed with experienced labor and first quality workmanship.
- O. All work shall conform to the 2020 Edition of the Florida Building Code, the 2017 Edition of the National Electrical Code, Industry Standards, Manufacturer's Specifications, these specifications, and State and Federal guidelines as applicable.



00300 BID PROPOSAL FORM

**PLAZA DEL PRADO CONDOMINIUM ASSOCIATION
40-YEAR ELECTRICAL RECERTIFICATION REPAIRS**

LEGAL NAME OF BIDDER: _____

ADDRESS: _____

TELEPHONE NUMBER: _____

DATE OF BID PREPARATION: _____

Having completely examined the Specifications, all attached and referenced documents, and the existing site conditions and quantities, the undersigned hereby agrees to provide all the labor and materials and all else necessary for the proper construction and completion of the work in accordance with the Specifications.

In submitting this Bid, the undersigned agrees and certifies:

- To enter and execute a Contract, if awarded on a basis of this Bid and to furnish all guarantees as required in the Contract Documents.
- To accomplish all work in accordance with the Contract Documents.
- To commence all work at the site within ten (10) calendar days of award of the Contract.
- To have all work complete in accordance with the Contract Documents within the allotted time.



00301 OUTLINE SCOPE OF WORK

All requested pricing shall include the general conditions, material, methods, etc. to complete the work in compliance with the National Electrical Code 2017 Edition. Contractor shall verify field conditions prior to submitting bid. There shall be no compensation for additional base bid work. The price indicated with each work item shall include all trades required to complete the work, no exceptions.

No. 1	NORTH BUILDING COMMON AREAS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
1.1	Provide and install identification labels to electrical panels, disconnect switches, and unit meter breakers, per as-built drawings. Pre-existing marking must be removed. Printed labels for indoors, engraved labels for outdoors. Label shall indicate (as applicable): Id, source (panel and circuit number), voltage, phases, number of wires. Main service DS must be labelled as "Main X of X", accordingly. Must be readable from 5 feet. OSHA 1910.145(f)(4)(ii).	Ea.	35		
1.2	Trace out existing circuits and provide typewritten circuit directory to panels, as required by NEC-408.4(A) and 408.38. Pre-existing marking must be removed.	Ea.	30		
1.3	Provide and install cover to circuit breaker enclosure for the meter bank at the North building, meter room Tower 1, level 3. (Refer to 40YER report, item 2)	Ea.	1		
1.4	Provide a permanent conductor connection, provide and install panel cover/trim to panel in Main electrical room. (Refer to 40YER report, item 4.1)	LS.	1		
1.5	Relocate panel inside main electrical room so as to provide working space clearance. (Refer to 40YER report, item 4.2)	LS.	1		
1.6	Provide alternate price for relocation of transformer installed in front of panel, so as to provide working space clearance to the panel. (Refer to previous item)	LS.	1		
1.7	Provide and Install dead front to panel, located in East wall – Main electrical room. (Refer to 40YER report, item 4.3)	L.S.	1		
1.8	Install protective cover to panel located at tower 2, ground level electrical room, and to motor control center located at roof cooling tower mechanical room. (Refer to 40YER report, items 4.13 & 4.29)	LS.	1		
1.9	Provide new GFCI 120VAC, 20AMP receptacle and replace the existing ones in laundry room (All levels, all towers). (Refer to 40YER report, item 10.b)	Ea.	160		
1.10	Provide and replace existing light fixtures at the selected locations of the stairwells. Provide at least one light fixture model as an alternative to the existing ones. (Refer to 40YER report, item 13)	Ea.	6		
1.11	Provide and install weather-proof type exit sign 120-277VAC for the exit door at the roof level, fed from the existing emergency circuit (Refer to 40YER report, item 16)	Ea.	4		
TOTAL No. 1 NORTH BUILDING COMMON AREAS - ELECTRICAL REPAIRS:					



No. 2	NORTH BUILDING MISCELLANEOUS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
2.1	Provide and install proper screws in Circuit breaker enclosures for the meter bank of tower 3, level 9, and for meter bank of tower 4, level 12. (Refer to 40YER report, item 2)	LS.	1		
2.2	Provide and install gutter cover in meter room, tower 1, level 3, and for the outside air unit 3N. (Refer to 40YER report, item 3)	Ea.	2		
2.3	Provide and replace 1-gang duplex metal wall plate to combo switch-receptacle in storage room, penthouse level, tower 3. (Refer to 40YER report, item 10)	Ea.	1		
2.4	Provide and replace combo switch-receptacle 120VAC, 15AMP in meter room level 16, tower 2. (Refer to 40YER report, item 10)	Ea.	1		
2.5	Provide and install GFCI 120VAC 15AMP receptacle for the drinking water fountain at lobby level. (Refer to 40YER report, item 10)	Ea.	1		
2.6	Provide and install metallic blank cover to junction boxes on roof, boiler room, and elevator machine room N2. (Refer to 40YER report, item 10)	Ea.	5		
2.7	Provide and install circuit breaker filler plate on opening for the circuit spaces in panels. (Refer to 40Y Report for location details, items 2 and 4)	Ea.	14		
2.8	Provide and install a #8 AWG or larger solid copper conductor to water heater bonding connection. (Refer to 40YER report, item 20)	LS.	1		
TOTAL No. 2 NORTH BUILDING MISCELLANEOUS - ELECTRICAL REPAIRS:					



No. 3	SOUTH BUILDING COMMON AREAS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
3.1	Provide and install identification labels to electrical panels, disconnect switches, and unit meter breakers, per as-built drawings. Pre-existing marking must be removed/cleaned. Printed labels for indoors, engraved labels for outdoors. Label shall indicate (as applicable): Id, source (panel and circuit number), voltage, phases, number of wires. Main service DS must be labelled as "Main X of X", accordingly. Must be readable from 5 feet. OSHA 1910.145(f)(4)(ii).	Ea.	31		
3.2	Trace out existing circuits and provide typewritten circuit directory to panels, as required by NEC-408.4(A) and 408.38. Refer to 40Y Report for location details.	Ea.	28		
3.3	Provide and install metallic cover to junction box, and to contactor enclosure at the roof AC room, and at the cooling tower mechanical room. (Refer to 40YER report, item 10)	Ea.	2		
3.4	Replace existing light fixtures selected locations of stairwell (Select fixture) (Refer to 40YER report, item 13)	Ea.	5		
3.5	Provide and install weather-proof type exit sign 120-277VAC for the exit door at the roof level, fed from the existing emergency circuit. (Refer to 40YER report, item 16)	Ea.	4		
3.6	Replace cover to panel in laundry room, Tower 4, level 4, and in laundry room, tower 1, level 4. Clean out internal parts of the panel from dust and lint (Refer to 40YER report, items 4.52 & 4.59)	Ea.	2		
3.7	Relocate Panel inside Main electrical room, so as to provide working space clearance. (Refer to 40YER report, item 4.37)	LS.	1		
3.8	Provide alternate price for relocation of transformer installed in front of panel, so as to provide working space clearance. (Refer to 40YER report, item 4.37)	LS.	1		
3.9	Provide new GFCI 120VAC, 20AMP receptacle and replace the existing. (Refer to 40Y Report, item 10.b)	Ea.	160		
TOTAL No. 3 SOUTH BUILDING COMMON AREAS - ELECTRICAL REPAIRS:					



No. 4	SOUTH BUILDING MISCELLANEOUS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
4.1	Provide connector, straps, and repair the metal flex conduit connection to the junction box at the 100% OAHU room. (Refer to 40YER report, item 10.c)	LS.	1		
4.2	Provide and Install, 2-gang mud ring and 2-gang plate cover to switch box. (Refer to 40YER report, item 10.d)	LS.	1		
4.3	Repair Receptacle-switch cover plate. (Refer to 40YER report, item 10.e)	LS.	1		
4.4	Mark phase conductors with Brown-Orange-Yellow colored electrical tape inside of disconnect switch in main switchgear room. (Refer to 40YER report, item 10.f)	LS.	1		
4.5	Provide and install Panel Cover/Trim to motor control center, located at the cooling tower mechanical room. (Refer to 40YER report, item 10.i)	LS.	1		
4.6	Provide and install filler plate on opening circuit spaces in Panels. Refer to 40Y Report for location details. (Refer to 40YER report, item 2 and 4)	Ea.	18		
4.7	Provide and install front cover to panel locate at Tower 3, ground level (Refer to 40YER report, item 4.66)	LS.	1		
TOTAL No. 4 SOUTH BUILDING MISCELLANEOUS - ELECTRICAL REPAIRS:					



No. 5	RESIDENTIAL UNITS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
5.1	The following quantities are estimates based on inspection of a sample of (32) units. Electrical Contractor shall inspect every unit (682 total) to identify the ones requiring the following repairs. (Refer to 40YER report)				
5.2	Trace out existing circuits and provide typewritten circuit directory to residential electrical panel, as required by NEC-408.4(A).	Ea.	299		
5.3	Provide and install battery operated (battery-sealed) smoke alarm inside unit's bedrooms.	Ea.	640		
5.4	Provide and install battery operated (battery-sealed) smoke alarm outside unit's bedrooms.	Ea.	107		
5.5	Provide new tamper resistant dual function AFCI/GFCI receptacle, and replace the non GFCI protected ones serving the kitchen countertops.	Ea.	555		
5.6	Provide new tamper resistant GFCI receptacle and replace the non GFCI protected ones serving the bathrooms.	Ea.	597		
5.7	Provide new tamper resistant GFCI receptacle with an "in-use" type weather proof enclosure, and replace the non GFCI protected ones in the balcony.	Ea.	171		
5.8	Remove existing panel, provide and install a new 125 Amp 240V 1Φ 3W panel in same location in a flip installation.	LS.	299		
5.9	Provide alternate price for relocation of existing panel up to 10 ft of original location. Includes new 125Amp, 240V, 1Φ,3w panel and installation of a new 12"x20"x4" splice box, flush mounted with metal cover.	Ea.	1		
5.10	Provide alternate price for relocation of existing panel from 10 ft up to 20 ft of original location. Includes new 125Amp, 240V, 1Φ,3w panel and installation of a new 12"x20"x4" splice box, flush mounted with metal cover.	Ea.	1		
5.11	Provide and install filler plate to seal opening in Circuit spaces	Ea.	107		
TOTAL No. 5 RESIDENTIAL UNITS - ELECTRICAL REPAIRS:					



00302 ATTACHMENTS

ATTACHED TO THIS BID FORM ARE THE FOLLOWING DOCUMENTS:

1. BIDDERS QUALIFICATION STATEMENT

The Contractor, in this Agreement, accepts full responsibility for the Bid Amount, including all estimates of quantities for materials; estimates for refuse removal, costs for materials, labor and all else necessary for the successful completion of the project.

SIGNATURES:

Legal name of Contracting Firm, Partnership, or Corporation

Signed

Date

Name and Title



3. Have you ever failed to complete or been declared in DEFAULT by an owner for any work awarded to you? If so, note when, where, why, and contact information w/ phone #:

4. Has any officer or partner of your organization ever been an officer or partner of another organization that failed to complete a construction contract? If so, state the circumstances:

SIGNATURES:

Legal name of contracting firm, partnership, or corporation

Signed

Date

Name and title



THE FALCON GROUP

**ENGINEERING|ARCHITECTURE | ENERGY
CONSULTING ENGINEERS**

PROJECT MANUAL & SPECIFICATIONS FOR PLAZA PRADO CONDOMINIUM ASSOCIATION 40-YEAR ELECTRICAL RECERTIFICATION REPAIRS.

Y:\Clients\Falcon2016\16-637\018_40-Year Electrical Repairs\Plaza del Prado Condo-40Y Electrical Repairs-Bidding manual.docx

PROJECT:	Plaza del Prado Condominium Association 40-Year Electrical Recertification Repairs
LOCATION:	18071 Biscayne Blvd Aventura, FL 33160
PROJECT MANAGER:	Jose Urdaneta – Senior Project Manager
PREPARED BY:	The Falcon Group Consulting Engineers 15405 NW 7th Avenue Miami, Florida 33169
DATE:	March 14, 2022

NOTE: THIS DOCUMENT SHALL NOT BE USED WITHOUT THE DIRECT KNOWLEDGE OF FALCON ENGINEERING AND SHALL NOT BE DUPLICATED OR USED FOR ANY PROJECT OTHER THAN THIS PROJECT AS TITLED ABOVE.



Table of Contents

00010	GENERAL OVERVIEW	3
00100	INSTRUCTION TO BIDDERS	4
00200	DOCUMENTS	4
00201	BID SUBMITTALS	4
00202	MANDATORY PRE-BID MEETING	6
00203	SUBSTITUTIONS	6
00204	REQUEST FOR INFORMATION AND INTENT TO BID	6
00205	CONTACTS	7
00206	TAXES, FEES AND PERMITS	7
00207	TIME OF COMPLETION / PENALTIES	8
00208	BIDDERS QUALIFICATIONS	8
00209	PAYMENT TO CONTRACTOR	8
00210	INSURANCE	9
00211	PROJECT SCHEDULE	9
00300	BID PROPOSAL FORM	12
00301	OUTLINE SCOPE OF WORK	13
00302	ATTACHMENTS	18
00302	CONTRACTOR'S QUALIFICATION STATEMENT	19

ATTACHEMENTS:

ANNEX A – 40Y ELECTRICAL RECERTIFICATION REPORT



00010 GENERAL OVERVIEW

PROJECT INFORMATION

Project Identification: Plaza del Prado Condominium Association - 40-Year Electrical Recertification Repairs.

Project Location: 18071 Biscayne Blvd Aventura, FL 33160

Owner: Plaza del Prado Condominium Association, Inc.

Owner's Representative: Mrs. Marjorie Davalos - General Manager, LCAM

Engineer: The Falcon Group

Engineer's Representative:
(Project Manager) Jose Urdaneta, Sr. Project Manager.

Project Description: The purpose of this document is to provide the scope of work and specifications for the necessary repairs of the electrical deficiencies identified in the 40-year electrical inspections completed on July 27, 2021.

The repairs of these deficiencies are required to obtain the 40-year electrical certification, as described in Section 8-11(f) of the Code of Miami-Dade County and conforming, with the minimum inspection procedural guidelines as issued by the Miami-Dade Board of Rules and Appeals. All repairs or modifications shall be completed in conformance with all applicable Sections of the Florida Existing Building Code 2020 Edition, and the National Electrical Code 2017 Edition.



00100 INSTRUCTION TO BIDDERS

- A. Bidders shall examine the Plaza del Prado Condominium facilities, the existing electrical equipment, and its conditions, as well as the proposed scope of work described in this document. Each bidder shall determine for him or herself all work conditions and requirements.
- B. Bidders shall submit required documentation in accordance with the requirements of this specification.

00200 DOCUMENTS

- A. Documents will be provided free of charge to approved bidders only via email in electronic format (PDF).

00201 BID SUBMITTALS

- A. All bidders shall send an electronic copy of the Bid Proposal Form via email to the address listed below. The Owner's representative will receive bids until the bid time and date at the location given below. Then Owner's Representative will consider only the bids prepared in compliance with these instructions, and delivered as follows:

Bid Date: Friday, April 1, 2022

Bid Time: 4:00 PM

email: **Mrs. Marjorie Davalos**, manager@plazadelprado.net

Copy to: **Jose Urdaneta**, jurdaneta@thefalcongroun.us

- B. The OWNER reserves the right to reject any and all bids, to waive any and all informalities not involving price, time or change in the work and to negotiate contract terms with the successful BIDDER, and the right to disregard all nonconforming, non-responsive, unbalanced, or conditional bids. The OWNER also reserves the right to reject the Bid if not responsive, or if the BIDDER is unqualified or of doubtful financial ability, or fails to meet any other pertinent standard or criteria established by the OWNER. Additionally, the OWNER reserves the right to break up the individual components of each submitted Bid. In



evaluating the bids, the OWNER will consider the qualifications of the BIDDERS, whether the Bids comply with the prescribed requirements, and such alternatives, unit prices and other data.

- C. Each Bid Proposal Form shall be complete. All requested information shall be completed in full. All units for pricing shall be in accordance with the Bid Proposal Form. The Owner will reject any bids not submitted on the Bid Proposal Form or bids submitted which have incomplete information on the Bid Proposal Form.
- D. The Specifications and all relevant attachments including addenda, drawings, instructions to bidders, and the Bidders submitted Bid Proposal Form shall become part of the Contract to be executed by the successful Bidder.
- E. The Bidder is responsible for all required material and labor quantities that are paid as part of a lump sum bid item. The Bidder shall obtain all material and labor estimates from his/her field investigation and measurements. The information provided to the bidder is not guaranteed to be complete or accurate. The bidder shall inform the Project Manager prior to the submission of bid of any conditions that may materially affect the specified scope of work and are not covered in the Specifications and/or applicable drawings.
- F. The Bidder shall be knowledgeable of current materials costs and availability. There shall be no adjustment to the submitted bid amounts due to variations in industry pricing, nor does any lack of information by a successful bidder entitle him/her to consideration for extra payment.
- G. No interpretation of the meaning of the Contract Schedule, Specifications, or other Contract Documents, made to any bidder orally, is binding in any way upon the Owner/Engineer. Every request for such interpretation shall be addressed to the Project Manager via email to be given consideration. Any and all such interpretations and any supplemental instruction will be in the form of written addenda to the Specifications, which, if issued, will be sent via email to all prospective bidders (at the respective email address furnished for such purposes), not later than five (5) calendar days prior to the date fixed for the bid due date. Failure of any bidder to receive any such addendum or interpretation shall not relieve the bidder from any obligation under the bid as submitted. All addenda so issued shall become part of the Contract Document. The Project Manager shall not be obligated to respond to questions.
- H. Bidders may direct all questions regarding the project to the Owner's Representative AND the Engineer's Representative to the email addresses shown on part 00205 CONTACTS.
- I. Each Bidder shall submit pricing for all items on the Bid Proposal Form. All prices shall include the cost of all materials, equipment, disposal, labor, taxes and permits, and any other costs related to, or arising out of the work. There shall be no additional cost to the Owner arising from taxes, fees or permits.
- J. Each Bidder shall furnish signatures and seals and fill in all the blanks as required.



- K. A Bidder who is not a resident of the State of Florida shall designate an agent in the State of Florida on whom service can be made in the event of litigation.
- L. Proposals submitted by corporations must be executed in the corporate name by the president or vice-president (or other duly authorized corporate officer) and accompanied by evidence of authority of the individual to sign, and the corporate seal shall be affixed and attested by the secretary or an assistant secretary. The corporate address and state of incorporation shall be shown. Proof of good standing may be required of the successful bidder.

00202 MANDATORY PRE-BID MEETING

- A. A Mandatory pre-bid meeting for all bidders will be held at the site on **Monday, March 21, 2022, at 10:00 AM.**
- B. Prospective bidders are required to attend. Bids submitted by non-attending bidders will not be considered. No make-up time will be granted to any bidders not attending the meeting.

00203 SUBSTITUTIONS

- A. All bids shall be based upon materials specified. No approval shall be granted to bidders for material substitutions prior to the bid due date. Substitutions shall be considered only after award of the Contract.
- B. Substitution of materials shall only be made by written Change Order authorized by the Owner and the Owner's designated representative (Engineer of Record).
- C. All materials will be new, unexpired, original, in original packaging, free of defects, stored properly in accordance with manufacturer's requirements. The Engineer has the right to request purchase orders in to review the condition of the material. The Engineer has the right to request material to be removed from the site and replaced if the material does not meet project requirements.

00204 REQUEST FOR INFORMATION AND INTENT TO BID

- A. All Contractors shall direct all questions or requests for information or clarifications in writing, by electronic mail to the Project Manager. All questions and/or requests for



information must contain contact information for the primary person to whom the response can be directed.

- B. All Questions and Bidders Intent to Bid must be submitted no later than **Wednesday, March 30, 2022 at 5PM** to the Project Manager Contact below.

00205 CONTACTS

Jose Urdaneta, Sr. P.M.
The Falcon Group
15405 NW 7th Avenue
Miami, FL 33169
Ph: (305)-910.4289
jurdaneta@thefalcongroun.us

Mrs. Marjorie Davalos, LCAM
18071 Biscayne Blvd
Aventura, FL 33160
Ph: (786)-629.6652
manager@plazadelprado.net

00206 TAXES, FEES AND PERMITS

- A. The Bidder shall pay all applicable taxes and fees, except those taxes, which apply to the real property comprising the site of the project.
- B. The Bidder shall be responsible for paying and obtaining any required Building Permits for the work. In addition, it shall be the Bidder's responsibility to arrange for inspection by and comply with the requirements of the local municipal authorities. The permit cost will be reimbursed by the Owner. The Owner will reimburse the Bidder only for the real cost for the permit (receipt issued by the Authority issuing the permit is required for reimbursement). The Owner will not reimburse the bidder for use of "permit runners", "permit expeditors", and similar, unless it was a direct request by the Owner.



00207 TIME OF COMPLETION / PENALTIES

- A. Successful bidder shall begin the Work within ten (10) workdays of receiving Notice to Proceed and issuance of work permit and shall complete the Work within the agreed upon Contract Time.

00208 BIDDERS QUALIFICATIONS

- A. Bidders must be properly licensed under the laws governing their respective trades and be able to obtain insurance and bonds required for the Work.
- B. Each bidder must submit a list of references of at least three (3) similar jobs completed in the past three (3) years. Bids submitted without the proper references will not be considered.
- C. Bidders must be licensed Electrical Contractors.

00209 PAYMENT TO CONTRACTOR

Subject to the terms and conditions of the Contract Documents, payments shall be made to the Contractor as follows:

- A. The Bidder shall be responsible for paying and obtaining any required Building Permits for the work. In addition, it shall be the Bidder's responsibility to arrange for inspection by and comply with the requirements of the local municipal authorities. Any permit fees will be reimbursed by the Owner to the Contractor at cost only. No expeditors or permit runner fees will be paid. Contractor shall provide proof of incurred expenses (receipt issued by the Authority issuing the permit is required for reimbursement).
- B. The Contractor shall provide the Engineer with a standard AIA Payment Request form and Lien Waiver. Template forms will be provided for contractor's use.
- C. Final payment will be release to the Contractor upon completion of the project in accordance with the construction documents and after permit closeout, final release of lien, and final inspections are approved by the Engineer of Record and City Officials.
- D. Payment to the Contractor by the Owner is not evidence of acceptance of non-conforming or defective work.
- E. Payment for Extra Work shall be made at a previously agreed upon amount, based upon the value of Extra Work performed.



- F. The Contractor will be responsible for all sales and use taxes on purchases for material incorporated or consumed in the performance of the work.

00210 INSURANCE

- A. The Contractor shall provide and maintain insurance as specified in the form and amounts specified in the contract for the duration of the project.
- B. Comprehensive General Liability, including Contractual Liability, as per minimum State requirements.
- C. Workmen's Compensation insurance in an amount no less than the full statutory minimum required by the laws of Florida.
- D. Failure to maintain required insurance coverage shall be considered a breach of the Contract.
- E. The following entities must be listed as additionally insured:
 - Owner – Plaza del Prado Condominium Association Inc.
 - Engineer – The Falcon Group.

00211 PROJECT SCHEDULE

- A. Contractor shall provide estimate time to complete each work task.

00212 GENERAL NOTES

- A. All the repair works described in this document shall be executed by a licensed Electrical Contractor.
- B. The contractor will need to submit a schedule for time to complete each work task for approval prior to beginning repairing work on the property. A revised schedule shall be submitted with every payment application. If a revised schedule has not been provided, the Project Manager has the right to deny payment application until such schedule is provided. The schedule will be provided in a format acceptable to the Project Manager (Gantt chart or similar approved).



- C. All unit price work or any other specified for the project are **INCLUSIVE** of general conditions, mobilization, demobilization, overhead, profit, labor, material and any other fees/costs necessary for completing the work. **No additional mobilization/demobilization will be allowed based on the increase of quantities.**
- D. In providing change orders for additions to the work for which unit prices are already part of the contract, Contractor shall honor those prices and will only be allowed for adjustment in quantity. Contractor acknowledges and agrees to continue working under these terms for any additional quantities (whether they were based on the allowances or lump sum portion of the contract) that are in excess of the quantities provided in the contract documents.
- E. All fields in the bid **MUST** be populated for the bid to be considered. The unit prices provided shall serve as the base for additions or deductions from the contract. The contractor agrees and acknowledges that in the event of additional work for which unit prices have been established those unit prices shall be used to calculate the cost of the additional work. All unit prices shall be inclusive of general conditions. No additional general conditions shall be allowed for any additional work. Contract will not be substantially completed until all the additional quantities/work is completed.
- F. The Contractor shall be responsible for any damage that occurs as a direct or indirect result of the repair process. The Contractor shall be responsible for taking all preventive steps necessary to avoid damage to the Buildings, components of the Buildings, surrounding grounds, utilities, vegetation, and any and all property of the occupants. If the Contractor believes that any of the methods of construction, materials, or equipment may cause direct or indirect damage to the Buildings, components of the Buildings, surrounding grounds, utilities, vegetation, and any and all property of the occupants, the Contractor shall bring such items to the attention of the Owner, in writing, at the time of bid submittal. If such items were not brought to the attention of the Owner, it will become Contractor's responsibility to repair all damaged items to the satisfaction of the Owner, at no cost to the Owner.
- G. Contractor shall obtain and submit photographic documentation of existing conditions prior to the start of work to Engineer and Owner (pre-construction survey).
- H. Inspections: All work outlined in these Specifications and related documents may be inspected by the Owner, its representatives and/or the Engineer at any time. If the Owner does or does not elect to inspect, this confers no rights on the part of the contractor and does not relieve the contractor from his responsibilities. The Contractor shall perform all work in accordance with these Specifications, and to the satisfaction of the Owner, the Owner's representative, and the Engineer including any work not included in these Specifications but required by the local and government authorities. The Contractor shall schedule all inspections required by local and government authorities and in accordance with required permits to obtain Certificates of Occupancy or Certificates of Completion issued by the local authorities. The Contractor shall notify the Owner of all such inspections and provide ample notification so that the Owner may be present for all inspections. The Contractor shall keep on the site a log with all inspections and will be responsible for ensuring that the Engineer,



or Inspector have access to it on the day of inspection. The contractor is responsible for requesting inspection with the engineer of record. All engineer inspections shall require a minimum 48-hour notification to the Engineer.

- I. If an inspection is requested and no work needs to be inspected, work has not been substantially complete for inspection, access is not provided, etc. then the contractor will be responsible for paying fines, fees, and costs, resulting from the necessity of reinspection, including fees incurred by the Owner's representative for reinspection, and consequential damages.
- J. The contractor must provide an on-site, English-speaking supervisor that is always present during working hours, and who is thoroughly trained in all aspects of the work.
- K. The contractor, once having started the work, shall continuously and expeditiously proceed with its vigorous prosecution until completion of the work.
- L. A copy of all required permits, licenses, certificates, and approval shall be delivered to the Project manager and a copy shall be posted in a prominent location at the work site prior to commencement of the work.
- M. All materials shall be installed in accordance with manufacturer written specifications and acceptable industry standards, and these specifications.
- N. All work shall be performed with experienced labor and first quality workmanship.
- O. All work shall conform to the 2020 Edition of the Florida Building Code, the 2017 Edition of the National Electrical Code, Industry Standards, Manufacturer's Specifications, these specifications, and State and Federal guidelines as applicable.



00300 BID PROPOSAL FORM

**PLAZA DEL PRADO CONDOMINIUM ASSOCIATION
40-YEAR ELECTRICAL RECERTIFICATION REPAIRS**

LEGAL NAME OF BIDDER: _____

ADDRESS: _____

TELEPHONE NUMBER: _____

DATE OF BID PREPARATION: _____

Having completely examined the Specifications, all attached and referenced documents, and the existing site conditions and quantities, the undersigned hereby agrees to provide all the labor and materials and all else necessary for the proper construction and completion of the work in accordance with the Specifications.

In submitting this Bid, the undersigned agrees and certifies:

- To enter and execute a Contract, if awarded on a basis of this Bid and to furnish all guarantees as required in the Contract Documents.
- To accomplish all work in accordance with the Contract Documents.
- To commence all work at the site within ten (10) calendar days of award of the Contract.
- To have all work complete in accordance with the Contract Documents within the allotted time.



00301 OUTLINE SCOPE OF WORK

All requested pricing shall include the general conditions, material, methods, etc. to complete the work in compliance with the National Electrical Code 2017 Edition. Contractor shall verify field conditions prior to submitting bid. There shall be no compensation for additional base bid work. The price indicated with each work item shall include all trades required to complete the work, no exceptions.

No. 1	NORTH BUILDING COMMON AREAS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
1.1	Provide and install identification labels to electrical panels, disconnect switches, and unit meter breakers, per as-built drawings. Pre-existing marking must be removed. Printed labels for indoors, engraved labels for outdoors. Label shall indicate (as applicable): Id, source (panel and circuit number), voltage, phases, number of wires. Main service DS must be labelled as "Main X of X", accordingly. Must be readable from 5 feet. OSHA 1910.145(f)(4)(ii).	Ea.	35		
1.2	Trace out existing circuits and provide typewritten circuit directory to panels, as required by NEC-408.4(A) and 408.38. Pre-existing marking must be removed.	Ea.	30		
1.3	Provide and install cover to circuit breaker enclosure for the meter bank at the North building, meter room Tower 1, level 3. (Refer to 40YER report, item 2)	Ea.	1		
1.4	Provide a permanent conductor connection, provide and install panel cover/trim to panel in Main electrical room. (Refer to 40YER report, item 4.1)	LS.	1		
1.5	Relocate panel inside main electrical room so as to provide working space clearance. (Refer to 40YER report, item 4.2)	LS.	1		
1.6	Provide alternate price for relocation of transformer installed in front of panel, so as to provide working space clearance to the panel. (Refer to previous item)	LS.	1		
1.7	Provide and Install dead front to panel, located in East wall – Main electrical room. (Refer to 40YER report, item 4.3)	L.S.	1		
1.8	Install protective cover to panel located at tower 2, ground level electrical room, and to motor control center located at roof cooling tower mechanical room. (Refer to 40YER report, items 4.13 & 4.29)	LS.	1		
1.9	Provide new GFCI 120VAC, 20AMP receptacle and replace the existing ones in laundry room (All levels, all towers). (Refer to 40YER report, item 10.b)	Ea.	160		
1.10	Provide and replace existing light fixtures at the selected locations of the stairwells. Provide at least one light fixture model as an alternative to the existing ones. (Refer to 40YER report, item 13)	Ea.	6		
1.11	Provide and install weather-proof type exit sign 120-277VAC for the exit door at the roof level, fed from the existing emergency circuit (Refer to 40YER report, item 16)	Ea.	4		
TOTAL No. 1 NORTH BUILDING COMMON AREAS - ELECTRICAL REPAIRS:					



No. 2	NORTH BUILDING MISCELLANEOUS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
2.1	Provide and install proper screws in Circuit breaker enclosures for the meter bank of tower 3, level 9, and for meter bank of tower 4, level 12. (Refer to 40YER report, item 2)	LS.	1		
2.2	Provide and install gutter cover in meter room, tower 1, level 3, and for the outside air unit 3N. (Refer to 40YER report, item 3)	Ea.	2		
2.3	Provide and replace 1-gang duplex metal wall plate to combo switch-receptacle in storage room, penthouse level, tower 3. (Refer to 40YER report, item 10)	Ea.	1		
2.4	Provide and replace combo switch-receptacle 120VAC, 15AMP in meter room level 16, tower 2. (Refer to 40YER report, item 10)	Ea.	1		
2.5	Provide and install GFCI 120VAC 15AMP receptacle for the drinking water fountain at lobby level. (Refer to 40YER report, item 10)	Ea.	1		
2.6	Provide and install metallic blank cover to junction boxes on roof, boiler room, and elevator machine room N2. (Refer to 40YER report, item 10)	Ea.	5		
2.7	Provide and install circuit breaker filler plate on opening for the circuit spaces in panels. (Refer to 40Y Report for location details, items 2 and 4)	Ea.	14		
2.8	Provide and install a #8 AWG or larger solid copper conductor to water heater bonding connection. (Refer to 40YER report, item 20)	LS.	1		
TOTAL No. 2 NORTH BUILDING MISCELLANEOUS - ELECTRICAL REPAIRS:					



No. 3	SOUTH BUILDING COMMON AREAS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
3.1	Provide and install identification labels to electrical panels, disconnect switches, and unit meter breakers, per as-built drawings. Pre-existing marking must be removed/cleaned. Printed labels for indoors, engraved labels for outdoors. Label shall indicate (as applicable): Id, source (panel and circuit number), voltage, phases, number of wires. Main service DS must be labelled as "Main X of X", accordingly. Must be readable from 5 feet. OSHA 1910.145(f)(4)(ii).	Ea.	31		
3.2	Trace out existing circuits and provide typewritten circuit directory to panels, as required by NEC-408.4(A) and 408.38. Refer to 40Y Report for location details.	Ea.	28		
3.3	Provide and install metallic cover to junction box, and to contactor enclosure at the roof AC room, and at the cooling tower mechanical room. (Refer to 40YER report, item 10)	Ea.	2		
3.4	Replace existing light fixtures selected locations of stairwell (Select fixture) (Refer to 40YER report, item 13)	Ea.	5		
3.5	Provide and install weather-proof type exit sign 120-277VAC for the exit door at the roof level, fed from the existing emergency circuit. (Refer to 40YER report, item 16)	Ea.	4		
3.6	Replace cover to panel in laundry room, Tower 4, level 4, and in laundry room, tower 1, level 4. Clean out internal parts of the panel from dust and lint (Refer to 40YER report, items 4.52 & 4.59)	Ea.	2		
3.7	Relocate Panel inside Main electrical room, so as to provide working space clearance. (Refer to 40YER report, item 4.37)	LS.	1		
3.8	Provide alternate price for relocation of transformer installed in front of panel, so as to provide working space clearance. (Refer to 40YER report, item 4.37)	LS.	1		
3.9	Provide new GFCI 120VAC, 20AMP receptacle and replace the existing. (Refer to 40Y Report, item 10.b)	Ea.	160		
TOTAL No. 3 SOUTH BUILDING COMMON AREAS - ELECTRICAL REPAIRS:					



No. 4	SOUTH BUILDING MISCELLANEOUS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
4.1	Provide connector, straps, and repair the metal flex conduit connection to the junction box at the 100% OAHU room. (Refer to 40YER report, item 10.c)	LS.	1		
4.2	Provide and Install, 2-gang mud ring and 2-gang plate cover to switch box. (Refer to 40YER report, item 10.d)	LS.	1		
4.3	Repair Receptacle-switch cover plate. (Refer to 40YER report, item 10.e)	LS.	1		
4.4	Mark phase conductors with Brown-Orange-Yellow colored electrical tape inside of disconnect switch in main switchgear room. (Refer to 40YER report, item 10.f)	LS.	1		
4.5	Provide and install Panel Cover/Trim to motor control center, located at the cooling tower mechanical room. (Refer to 40YER report, item 10.i)	LS.	1		
4.6	Provide and install filler plate on opening circuit spaces in Panels. Refer to 40Y Report for location details. (Refer to 40YER report, item 2 and 4)	Ea.	18		
4.7	Provide and install front cover to panel locate at Tower 3, ground level (Refer to 40YER report, item 4.66)	LS.	1		
TOTAL No. 4 SOUTH BUILDING MISCELLANEOUS - ELECTRICAL REPAIRS:					



No. 5	RESIDENTIAL UNITS - ELECTRICAL REPAIRS	Unit of Measure	Estimated Quantity	Unit Price	Sub total
5.1	The following quantities are estimates based on inspection of a sample of (32) units. Electrical Contractor shall inspect every unit (682 total) to identify the ones requiring the following repairs. (Refer to 40YER report)				
5.2	Trace out existing circuits and provide typewritten circuit directory to residential electrical panel, as required by NEC-408.4(A).	Ea.	299		
5.3	Provide and install battery operated (battery-sealed) smoke alarm inside unit's bedrooms.	Ea.	640		
5.4	Provide and install battery operated (battery-sealed) smoke alarm outside unit's bedrooms.	Ea.	107		
5.5	Provide new tamper resistant dual function AFCI/GFCI receptacle, and replace the non GFCI protected ones serving the kitchen countertops.	Ea.	555		
5.6	Provide new tamper resistant GFCI receptacle and replace the non GFCI protected ones serving the bathrooms.	Ea.	597		
5.7	Provide new tamper resistant GFCI receptacle with an "in-use" type weather proof enclosure, and replace the non GFCI protected ones in the balcony.	Ea.	171		
5.8	Remove existing panel, provide and install a new 125 Amp 240V 1Φ 3W panel in same location in a flip installation.	LS.	299		
5.9	Provide alternate price for relocation of existing panel up to 10 ft of original location. Includes new 125Amp, 240V, 1Φ,3w panel and installation of a new 12"x20"x4" splice box, flush mounted with metal cover.	Ea.	1		
5.10	Provide alternate price for relocation of existing panel from 10 ft up to 20 ft of original location. Includes new 125Amp, 240V, 1Φ,3w panel and installation of a new 12"x20"x4" splice box, flush mounted with metal cover.	Ea.	1		
5.11	Provide and install filler plate to seal opening in Circuit spaces	Ea.	107		
TOTAL No. 5 RESIDENTIAL UNITS - ELECTRICAL REPAIRS:					



00302 ATTACHMENTS

ATTACHED TO THIS BID FORM ARE THE FOLLOWING DOCUMENTS:

1. BIDDERS QUALIFICATION STATEMENT

The Contractor, in this Agreement, accepts full responsibility for the Bid Amount, including all estimates of quantities for materials; estimates for refuse removal, costs for materials, labor and all else necessary for the successful completion of the project.

SIGNATURES:

Legal name of Contracting Firm, Partnership, or Corporation

Signed

Date

Name and Title



3. Have you ever failed to complete or been declared in DEFAULT by an owner for any work awarded to you? If so, note when, where, why, and contact information w/ phone #:

4. Has any officer or partner of your organization ever been an officer or partner of another organization that failed to complete a construction contract? If so, state the circumstances:

SIGNATURES:

Legal name of contracting firm, partnership, or corporation

Signed

Date

Name and title